

ALEXANDER RESIDENCE - RENOVATION & ADDITION

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PROJECT AND SITE DATA

OWNER:
 DEBORAH ALEXANDER

ADDRESS:
 6010 E MERCER WAY
 MERCER ISLAND, WA 98040

PARCEL NUMBER:
 192405-9206

VICINITY MAP



LEGAL DESCRIPTION:
 POR OF SE 1/4 BEG AT NXN OF LN 1300 FT N OF S LN OF SEC WITH ELY LN OF E MERCER WAY TH S 88-33-02 E 470 FT TH S 01-26-58 W 20 FT TO TPOB TH S 88-33-02 E TO ELY LN OF SEC TH SLY TO PT 1200 FT N OF S LN OF SEC TH N 88-33-02 W TO PT S 01-26-58 W FR TPOB TH N 01-26-58 E 80 FT TO TPOB TGW SH LDS ADJ

LOT SIZE:
 18,318 SF (0.42 ACRES)

DEFERRED PERMIT LIST

ELECTRICAL, MECHANICAL AND PLUMBING

ALEXANDER RESIDENCE
 RENOVATION & ADDITION
 6010 E Mercer Way, Mercer Island, WA 98040
 OWNER: Deborah Alexander

SHEET INDEX

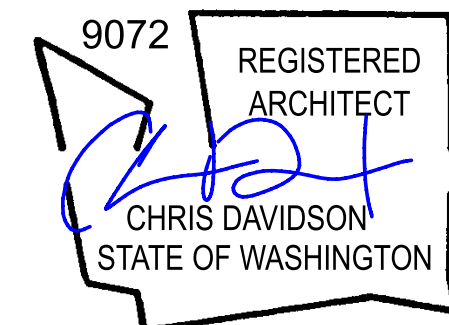
GENERAL	
G1	COVER SHEET
G2	SITE PLAN AND GENERAL PROJECT NOTES
	SITE SURVEY
ARCHITECTURAL	
A0a	SITE PLAN - EXISTING
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A3	ROOF PLAN

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STRUCTURAL	
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S6.00	STRUCTURAL DETAILS

ZONING INFORMATION

ZONE TYPE:
 BASE ZONE: R15

BUILDING CODE:
 IRC 2018



PERMIT NUMBER

PROJECT NUMBER

2022-4

SUBMITTAL: DATE:
 PERMIT SUBMITTAL 9/27/22

GENERAL NOTES

- CONFORM TO ALL APPLICABLE CODES AND REGULATIONS
- VERIFY CONDITIONS BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TAKE EVERY PRECAUTION TO SAFEGUARD PERSONS AND PROPERTY
- STORE MATERIALS IN AREA APPROVED BY OWNER. REPAIR ALL DAMAGES CAUSED BY CONSTRUCTION IN THIS CONTRACT.
- REMOVE DEBRIS FROM THE BUILDING SITE AS IT ACCUMULATES TO PREVENT UNSAFE CONDITIONS. PROTECT CONSTRUCTION FROM WEATHER AS WORK PROCEEDS.
- ELECTRICAL PLUMBING AND MECHANICAL WORK UNDER SEPARATE PERMIT.
- INSTALL AND APPLY MATERIALS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- DIMENSIONS ARE GIVEN TO FACE OF STUD, FACE OF CONCRETE AND TO ROUGH OPENING, UNO.
- VERIFY FIGURES SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, REPORT ERRORS AND INACCURACIES IN WRITING TO THE ARCHITECT BEFORE COMMENCING WORK.
- ALIGN WINDOW AND DOOR HEADERS, UNO.
- WRITTEN NOTES SUPERSEDE GRAPHIC DESCRIPTIONS.
- WRITTEN DIMENSIONS SUPERSEDE SCALED DRAWINGS.

GROSS FLOOR AREA CALCULATIONS

FLOOR	SPECIAL FLOOR AREA	GFA MODIFIER	EXISTING	PROPOSED	TOTAL
UPPER FLOOR			690	0	690
MAIN FLOOR	LIVING/ DINING AREA	12'-16' CLG (150% MOD)	1890	254	2144
			900	0	900
GROSS BASEMENT AREA			420	0	420
GARAGE			500	0	500
TOTAL			4400	254	4654

ALLOWED GROSS FLOOR AREA

ZONE	SITE AREA	ALLOWABLE %	ALLOWED GFA	EXISTING GFA	PROPOSED GFA
R-15	18318	40%	7327	4400	4654

APPROVAL STAMP

TITLE SHEET & GENERAL INFORMATION

G1

SOILS AND SITE WORK PER 401.4 (site-specific geotechnical reports shall govern)

- A. Excavation cuts are to be no steeper than 1:1, horizontal to vertical.
- B. Fill to be free of debris, organic contaminants and rock fragments larger than 6 inches. Use free-draining sand or sand and gravel conditioned to appropriate moisture content for adequate compaction. Fill shall contain no more than 5% fines relative to the fraction passing the 3/4" sieve. For house, slab or pavement areas, compaction of fill to be at least 95% of the maximum dry density (MDD) per ASTM D-1557 testing procedures. Utility trench backfill in settlement-sensitive areas to be compacted at least 90% of the MDD, except for the top 2 feet which should be compacted to 95% of the MDD.
- C. Structural fill to be placed in loose layers of not more than 8" layers for heavy equipment, or 4" for lightweight compaction equipment. Fill should be conditioned to the proper moisture content for compaction. Compact each lift before placing subsequent layers.
- D. For footings supported on structural fill, the zone of structural fill should extend laterally out from the footing edges a distance at least equal to the thickness of the structural fill. Structural fill placed beneath footing should be compacted to at least 95% of the MDD in accordance with ASTM D-1557.
- E. All exterior and interior footings to be at least 18" and 12" respectively below the lowest finished adjacent grade.
- F. Crawl space per R408.

FRAMING (Site-specific structural engineering shall govern)

- A. All materials and workmanship shall conform to the requirements of the drawings, notes, specifications, and all applicable codes and ordinances.
- B. All frame construction shall conform to minimum standards of IBC/IRC. Fastening requirements to be in accordance with IBC. See Structural Drawings Structural Notes, and specifications for any other notes that may relate specifically to grades and sizing of all framing member.
- C. Columns and posts located on concrete or masonry floors or decks exposed to the weather or to water splash or in basements and which support permanent structures shall be supported by concrete piers or metal pedestals projecting above floors unless approved wood of natural resistance to decay or treated wood is used. The pedestals shall project at least 6 inches above exposed earth and at least 1 inch above such floors.

Per IBC: penetrations, soffits, drop & cove ceilings

- Wood/Earth separation per R317
- D. Maintain all integrity of required 1 hour separations between different Occupancy Types. See Drawings and details for Required One and Two Hour Party Walls between units.
 - Garage/Dwelling per R302.5 & 302.6
- E. Where installation includes manufactured products, comply with the manufacturer's applicable instructions and recommendations for installation. Verify rough-in dimensions for equipment and provide buck-outs, backing and jacks as required.
- F. All Guardrails per R312 to be 36" high minimum from finished floor line. Openings in railing assemblies are not to exceed 4" in one direction. Guardrails and handrails to withstand a 200 lbs/sf concentrated load applied in any direction at any point along the top. Guardrail in-fill components (all those except the handrail), balusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 lbs on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement. Handrails to be between 1 1/2" dia. and 2" dia. with clearance of 1 1/2" between rail and wall surface. mount between 34" and 38" off stair nosing.
- G. DECKING: All wood exposed to weather, such as wood used for deck framing including decking, railings, joists, beams, and posts shall be pressure treated or of wood with natural resistance to decay.
- H. Unless noted otherwise, dimensions are to face of studs, face of foundation walls, centerline of columns, centerline of doors and windows. When exterior walls rare dimensioned as 6", they include 1/2" sheathing over 2x6 studs @ 16" oc.

DOORS AND WINDOWS

- A. Doors as selected by Owner, but must meet code, egress, hardware, requirements as per below:
- B. See floor plans for sizes. Rating and required U-values shall be per plan and as set forth on this sheet. See schedules attached or in drawings. All exterior doors, windows and skylights shall be NFRC certified and shall meet SEC 402.4 for leakage.
- C. All Dwelling Units shall have dead-bolts that have thumb-turn to the inside.
- D. Electric Garage Door to be installed by Company familiar with Safety Requirements.
- E. All doors with required fire rating shall comply with provisions in this section, and shall be self closing and latching with no hold-opens. fire doors and dampers shall have an approved label or listing mark, identifying the fire-protection rating permanently affixed at the factory per IBC 715.3.3 All treated doors to have 3 hinges per leaf. When spring hinges are used for self-closing requirements, not less than half of the hinges are to be spring hinges.
- F. All glazing within 24" of a door, or within 18" from a floor surface to be tempered, including any glass shower or tub doors. Additionally, glazing within 5 feet of the bottom or top of stairways where the sill is less than 60" AFF shall be safety glazed. IRC R308.3 & 308.4 specifies other hazardous locations also requiring safety glazing.
- G. Egress windows from sleeping rooms and basements with habitable space w/o sleeping room to have a minimum net clear opening of 5.7 SF, minimum of 24" clear height, 20" minimum clear width, with maximum sill height of 44" above finished floor per IRC R310.
- H. SKYLIGHTS per R308.6

DRYWALL FINISH ASSUME TYPE IV FINISH, TYP.

- A. Provide 1/2" gypsum wall board for non-rated assemblies and 5/8" type "x" gypsum wall board for 1-hour rated assemblies with all exposed joints and fastener heads smooth and flush with surface of board. joints taped and prepared for application of finish. use water-resistant board at all wet areas to 4'-0" AFF.
- B. "Recommended Specifications for the Application and Finishing of Gypsum Board," latest edition, as published by the Gypsum Association (also published as ANSI 97.1 and "Using Gypsum Board and Ceiling," latest edition).
- C. When gypsum board is used as a base for tile or wall panels for tub, shower or water closet compartment walls, water resistant gypsum backing board shall be used per IRC section R702.4.2.

MECHANICAL

- A. HVAC and Plumbing work shall be performed in a "Bidder-Design" manner. The Contractor shall submit such systems separately for permit.
- B. It is the Contractor's responsibility to design systems that meet all requirements and codes. Contractor shall submit drawings, pay for, and obtain permit and perform work in a manner that meets or exceeds the recognized workmanship standards for the industry.
- C. All drawings are to be submitted for review and approval to the Owner before performing work.
- D. Heating is electric or gas either piping of hydronic heat or forced air via duct and furnace, to be determined. All furnaces shall be listed and labeled by an approved agency and installed per listed specifications.
- E. IC Chapter 24 covers fuel gas applications
- F. Appliances intended for installation in closets, alcoves or confined spaces shall be sl listed per code, IMC.
- G. Appliances installed in garages or other areas where they may be subject to mechanical damage shall be suitable guarded against such damage by being installed behind protective barriers or by being elevated or located out of the normal path of vehicles.
- H. Equipment located in a garage and capable of igniting flammable vapors shall be installed with the pilots and burners or heating elements and switches at least 18 inches above the floor level.
- I. Appliances designed to be in a fixed position shall be securely fastened in place. Supports for appliances shall be designed and constructed to sustain vertical and horizontal loads within the stress limitations in the building code and IMC.
- J. Verify types, Manufacturer, and locations of all plumbing fixtures and faucets with Owner prior to purchasing and/or installing.
- K. Vent outlet for gas appliances shall be 3' minimum away from operable windows, and 10' minimum away from fresh air intakes per WSEC and IRC chapter 24

WATER CONSERVATION NOTES

- A. Bathroom lavatory faucets: max flow rate = 1 gal/min
- B. Kitchen faucets: max flow rate = 1.75 gal/min
- C. Showerheads: max flow rate = 1.75 gal/min

FIREPLACE NOTES (see IRC Chapter 10; Pre-fab metal per R1002, R1003, R1005)

- A. Gas fireplace shall be approved by the building official as applicable for safe use or comply with applicable nationally recognized standards as evidenced by the listing and labeling by an approved agency such as the EPA.
- B. Instruction manuals for installation, operation repair and maintenance shall be left and attached to the appliance by the installer.
- C. Direct vent outlet for fireplace shall be 3' minimum away from operable windows, and 10' minimum away from fresh air intakes per per WSEC.

VENTILATION per SRC M1507

- A. Continuously operating whole house fan is proposed.
- B. Provide outdoor air inlet with 4 sq. in. min net free area for each habitable space.

INDOOR AIR QUALITY NOTES

- A. Range exhaust & dryers: Domestic kitchen range ventilation and domestic clothes dryers shall be of metal and have smooth interior surfaces. Ducts shall be substantially airtight and shall comply with the provisions of Chapter 6 UMC. Exhaust ducts shall terminate outside the building and be equipped with back-draft dampers.
 - B. Moisture exhaust ducts for clothes dryers shall terminate on the outside of the building and shall be equipped with a back-draft damper. Screens shall NOT be installed at the duct termination. Ducts for exhausting clothes dryers shall NOT be connected or installed with sheet metal screws or other fasteners which will obstruct the flow.
 - C. Unless otherwise permitted or required by the dryer manufacturer's installation instructions and approved by the building official, dryer exhaust ducts shall not exceed a total combined horizontal and vertical length of 14 feet including two 90-degree elbows. Two feet shall be deducted for each 90-degree elbow in excess of two.
- SMOKE ALARM / DETECTORS** PER IRC R314
- A. Smoke alarms shall be installed in the following locations:
 - Each sleeping room
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms
 - On each additional habitable story of the dwelling, including basements
 - B. When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedroom over background noise levels with all intervening doors closed. All smoke alarms shall be listed and installed in accordance with the provisions of IRC and the household fire warning equipment provisions of NFPA 72. Primary power to come from building wiring per IRC R314 from commercial source with battery back-up.
 - C. Provide an approved carbon monoxide alarm on each level of the dwelling per R315.

FIRE-RESISTIVE REQUIREMENTS

- A. CONSTRUCTION PER R302
 - Interior & exterior bearing walls, & non-bearing walls to be type V_B construction as required
 - Floors & floor/ceilings to be type VB construction
 - Roofs & roofs/ceilings to be type VB construction
- NOTE: All garage interior walls, ceilings, structural support systems exposed therein, and voids under stairs shall be 1-hour construction per plans and details.
- B. TYPES OF CONSTRUCTION: Standards of Quality - Construction materials shall be labeled appropriately, as required by the local municipality, showing that they comply with local code standards for such materials as building paper, decking material, foam plastics, wall and roofing materials.
 - C. FIRE RESISTIVE MATERIALS & SYSTEMS: Fire resistance ratings of walls, floors, roof assemblies shall meet criteria set forth in IBC or based on submitted information showing equivalent fire resistive rating.
 - D. FIRE BLOCKING AND DRAFTSTOP per R302.11, R302.12, 502.12 and R602.8
 - E. PROTECTION OF STRUCTURAL MEMBERS: Thickness of protection over structural members shall be as per IBC. See wall types and sections in these drawings for specifics.
 - F. COLUMN JACKETING: Where fire resistive covering on columns is exposed to injury from moving vehicles or other means, contractor shall protect area from damage and deterioration.

ELECTRICAL

- A. Electrical work shall be performed in a "Bidder-Design" manner. The contractor shall submit such systems separately for permit.
- B. It is the Contractor's responsibility to design systems that meet all requirements and codes. contractor shall submit drawings, pay for, and obtain permit and perform work in a manner that meets or exceeds the recognized workmanship standards for the industry.
- C. All drawings are to be submitted for review and approval to the Owner before performing work. Specific attention is to be paid regarding Owner-requested locations of electrical, phone and computer cabling port locations.
- D. Proper protection shall be provided around recessed light fixtures per manufacturer's recommendations so that overheating will not occur. Recessed light fixtures to be IC rated.
- E. At least 75% of permanent lighting fixtures to be high efficacy lamps - WSEC R404

STAIRS

- A. IRC R311.7, min 36" wide, max riser = 7 3/4" , min tread = 10". Hand rails shall not project more than 4 1/2" into the 36" clear pathway on either side.
- B. LANDINGS: There shall be a floor of landing at the top and bottom of each stairway except a door swinging except a door swinging away from the stairs is ok for interior stairs. The width of each landing shall not be less than the width of the stairway served, min 36" in the direction of travel. Max 2% slope.
- C. HANDRAILS: 34" to 38", min 1 1/2" clear from wall, continuous from full-length of flight where risers are. Handrail ends shall be returned or terminate in newel posts or safety terminals. Newel posts can interrupt handrails at turns. The lowest tread may have a volute, turnout or newel. Handrails shall be of the two type listed in IRC 311.7 or provide equivalent graspability.

SECURITY per Seattle Residential Code Section R329

- A. Provide building entrance locks and observation ports at approx. 60" AFF in accordance with this section.

SOUND TRANSMISSION CONTROL per Seattle Residential Code section R330

- A. Assemblies separating dwelling units shall provide:
 - At walls: airborne sound insulation at STC 45 per, ASTM E 90.
 - At floor-ceiling airborne and impact sound insulation at an "Impact Insulation Class" (IIC) or min. 50 per ASTM E 492.
- B. Fire-resistive integrity shall be maintained.

MINIMUM AREAS FOR HABITABLE ROOMS per R304:

- Common room: 120 SF; Cooking + Living or Living + Sleeping: 150 SF; Kitchens are exempt from minimum area and dimensions.
- IRC DEFINITION OF HABITABLE SPACE: A space in a building for living, sleeping, eating or cooking. Bathrooms, toilet rooms, closets, halls, storage or utility spaces and similar areas are not considered habitable spaces.

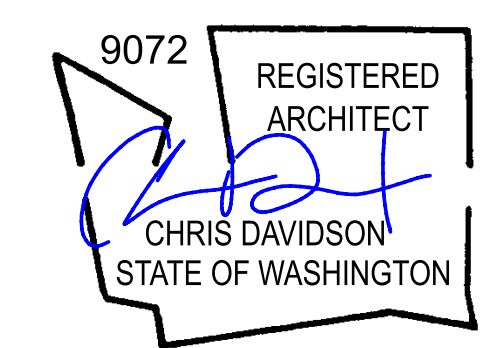
CEILING HEIGHT per IRC R305

- A. Habitable spaces/rooms, hallways, corridors, bathroom, toilet rooms, laundry rooms and basements shall have a ceiling height not less than 7 feet measured from FINISH floor to FINISH ceiling. Beams at least 4 feet on center can project into space 6 inches.
- B. SLOPED CEILINGS: Not more than 50% of the REQUIRED floor area of a room/space is permitted to have a sloped ceiling less than 7 feet or a portion less than 5 feet, (i.e. minimum REQUIRED bedroom is 70 SF per R304.3, so at least 35 SF of a bedroom needs to have ceiling heights over 7 feet and the other 35 SF over 5 feet.



15037 SE 171st St Renton, WA 98058
206.992.1853 tel

ALEXANDER RESIDENCE
RENOVATION & ADDITION
6010 E Mercer Way, Mercer Island, WA 98040
OWNER: Deborah Alexander



PERMIT NUMBER

PROJECT NUMBER

2022-4

SUBMITTAL: DATE:

PERMIT SUBMITAL 9/27/22

APPROVAL STAMP

GENERAL PROJECT NOTES



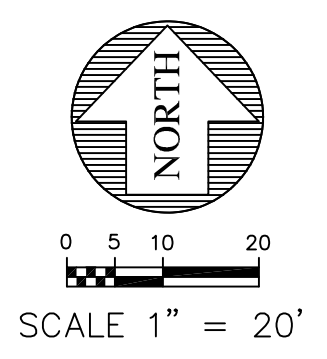
- Small Dwelling Unit: 3 credits**
Dwelling units less than 1,500 sf in conditioned floor area with less than 300 sf of fenestration area. Additions to existing building that are greater than 500 sf of heated floor area but less than 1,500 sf.
- Medium Dwelling Unit: 6 credits**
All dwelling units that are not included in #1 or #3
- Large Dwelling Unit: 7 credits**
Dwelling units exceeding 5,000 sf of conditioned floor area
- Additions less than 500 square feet: 1.5 credits**
All other additions shall meet 1-3 above

Before selecting your credits on this Summary table, review the details in Table 406.3 (Single Family), on page 4.

Summary of Table R406.2				
Heating Options	Fuel Normalization Descriptions	Credits - select ONE heating option		User Notes
1	Combustion heating minimum NAECA ^b	0.0	<input type="radio"/>	
2	Heat pump ^c	1.0	<input checked="" type="radio"/>	
3	Electric resistance heat only - furnace or zonal	-1.0	<input type="radio"/>	
4	DHP with zonal electric resistance per option 3.4	0.5	<input type="radio"/>	
5	All other heating systems	-1.0	<input type="radio"/>	
Energy Options	Energy Credit Option Descriptions	Credits - select ONE energy option from each category ^d		
1.1	Efficient Building Envelope	0.5	<input type="radio"/>	
1.2	Efficient Building Envelope	1.0	<input type="radio"/>	
1.3	Efficient Building Envelope	0.5	<input checked="" type="radio"/>	Floor insulation to R-38
Total Credits			1.5	CLEAR FORM

ALEXANDER TOPOGRAPHIC SURVEY

A PORTION OF THE SE 1/4 OF THE SE 1/4 OF SEC. 19, TWP 24 N., RNG. 5 E., W.M.
KING COUNTY, STATE OF WASHINGTON



LEGEND	
	FOUND MONUMENT IN CASE
	FOUND CORNER AS NOTED
	BENCHMARK
	REFERENCE RECORD OF SURVEY, REC. NO. 2011122890004
	REFERENCE RECORD OF SURVEY, REC. NO. 8601289004
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	IRRIGATION CONTROL VALVE
	SEWER MANHOLE
	CATCH BASIN
	AREA DRAIN
	MAILBOX
	HEAT PUMP
	POWER TRANSFORMER
	LIGHT POLE
	TELEPHONE RISER
	ROCKERY
	ELECTRIC METER
	UTILITY POLE
	GUY ANCHOR
	GAS METER
	OVERHEAD POWER LINE
	UNDERGROUND TELEPHONE LINE
	WATER LINE
	STORM LINE
	SEWER LINE
	GAS LINE
	WOOD FENCE
	CHAIN LINK FENCE (CLF)
	TOP OF SLOPE
	TOE OF SLOPE
	HEDGE LINE
	EVERGREEN TREE
	DECIDUOUS TREE
	CONCRETE
	ASPHALT
	GRAVEL

TAX PARCEL
192405-9206

VERTICAL DATUM
NAVD 88

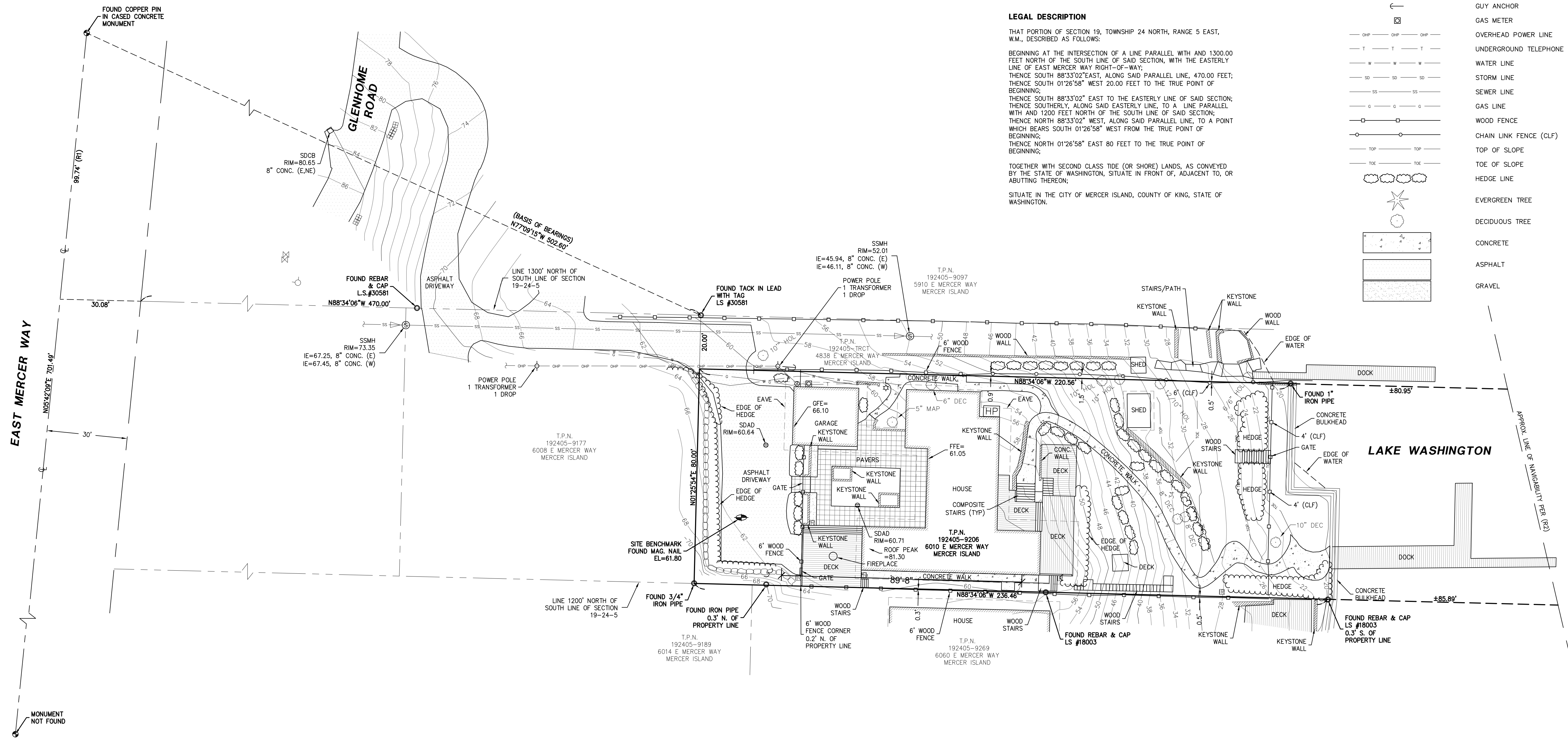
BENCHMARK
FOUND MAG. NAIL ±16' NORTH AND 7.5' EAST OF SOUTHWEST CORNER ASPHALT DRIVEWAY (SEE MAP FOR LOCATION)
ELEVATION = 61.80 FEET ESTABLISHED BY WSRN GPS OBSERVATION.

HORIZONTAL DATUM
NAD 83(2011)

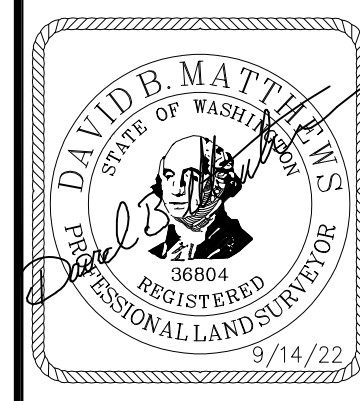
BASIS OF BEARINGS
N77°09'15"W BETWEEN THE NORTHEAST CORNER OF TAX PARCEL 192405-9177 AND MONUMENT IN CASE IN EAST MERCER WAY (SEE MAP FOR LOCATION).

INSTRUMENTATION
INSTRUMENT USED: 5 SECOND TOTAL STATION.
FIELD SURVEY WAS BY CLOSED TRAVERSE LOOPS, MINIMUM CLOSURE OF LOOPS WAS 1:22,000, IN ACCORDANCE WITH WAC 352-130-090.

LEGAL DESCRIPTION
THAT PORTION OF SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF A LINE PARALLEL WITH AND 1300.00 FEET NORTH OF THE SOUTH LINE OF SAID SECTION, WITH THE EASTERLY LINE OF EAST MERCER WAY RIGHT-OF-WAY;
THENCE SOUTH 88°33'02"EAST, ALONG SAID PARALLEL LINE, 470.00 FEET;
THENCE SOUTH 01°26'58" WEST 20.00 FEET TO THE TRUE POINT OF BEGINNING;
THENCE SOUTH 88°33'02" EAST TO THE EASTERLY LINE OF SAID SECTION;
THENCE SOUTHERLY, ALONG SAID EASTERLY LINE, TO A LINE PARALLEL WITH AND 1200 FEET NORTH OF THE SOUTH LINE OF SAID SECTION;
THENCE NORTH 88°33'02" WEST, ALONG SAID PARALLEL LINE, TO A POINT WHICH BEARS SOUTH 01°26'58" WEST FROM THE TRUE POINT OF BEGINNING;
THENCE NORTH 01°26'58" EAST 80 FEET TO THE TRUE POINT OF BEGINNING;
TOGETHER WITH SECOND CLASS TIDE (OR SHORE) LANDS, AS CONVEYED BY THE STATE OF WASHINGTON, SITUATE IN FRONT OF, ADJACENT TO, OR ABUTTING THEREON;
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.



REVISIONS	DESCRIPTION	BY	DATE



**TOPOGRAPHIC SURVEY
FOR
DEBORAH ALEXANDER**

Encompass
ENGINEERING & SURVEYING

Western Washington Division
165 NE Juniper Street, Suite 200
Everett, WA 98201 • Phone: (425) 392-0250
Eastern Washington Division
407 Southwater Blvd. • Clk. Elum, WA 98922 • Phone: (509) 674-7433

JOB NO.	22654
DATE	9/14/22
SCALE	1" = 20'
DESIGNED	N/A
DRAWN	LFM
CHECKED	DBM
APPROVED	DBM
SHEET	1 OF 1

BUILDING HEIGHT CALCULATIONS			
WALL SEGMENTS	LENGTH (FT)	ELEVATION @ MIDPOINT OF FAÇADE (FT)	WEIGHTED SUM OF MID-POINT ELEVATIONS (SF)
A	21.5	60	1290
B	27.5	54	1486
C	9.2	54.5	503
D	7.4	56	416
E	42.3	59.2	2501
F	16.3	60.2	983
G	16.4	59	965
H	66.6	60.3	4017
I	16.4	60.5	989
J	23.5	61	1434
K	29.6	61	1803
L	8.6	61	523
Total Perimeter	285.2		16909
AVERAGE BUILDING ELEVATION		(ABE= WSMPE/TOTAL WALL LENGTH	
ABE =	59		
MAX BLDG HEIGHT=	89		

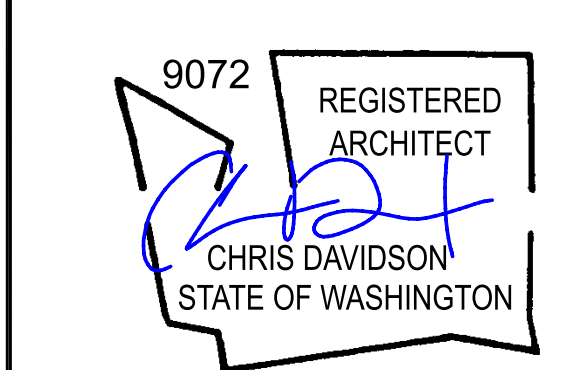
PLAN LEGEND

- BUILDING(S) PRIMARY AND ACCESSORY
- EXISTING LANDSCAPING AREA
- EXISTING DECK & STAIR AREA
- EXISTING DRIVEWAY AREA
- PROPOSED NEW LANDSCAPE AREA
- EXISTING HARDSCAPE AREA
- ELEV @ MIDPOINT OF FAÇADE

GENERAL NOTE:
 LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK WITHIN: (A) AN EROSION HAZARDOUS AREA, WHEN 2,000 SQUARE FEET OR MORE OF SITE DISTURBANCE IS PROPOSED, AND/OR (B) A LANDSLIDE HAZARDOUS AREA ARE NOT PERMITTED BETWEEN OCTOBER 1 AND APRIL 1.

CRITICAL AREAS ON SITE:
 1) EROSION; COVERS WHOLE SITE
 2) POTENTIAL SLIDE AREA; COVERS WHOLE SITE
 3) SEISMIC; ALONG WATERFRONT (LOC IDENTIFIED DOT HATCH PATTERN)

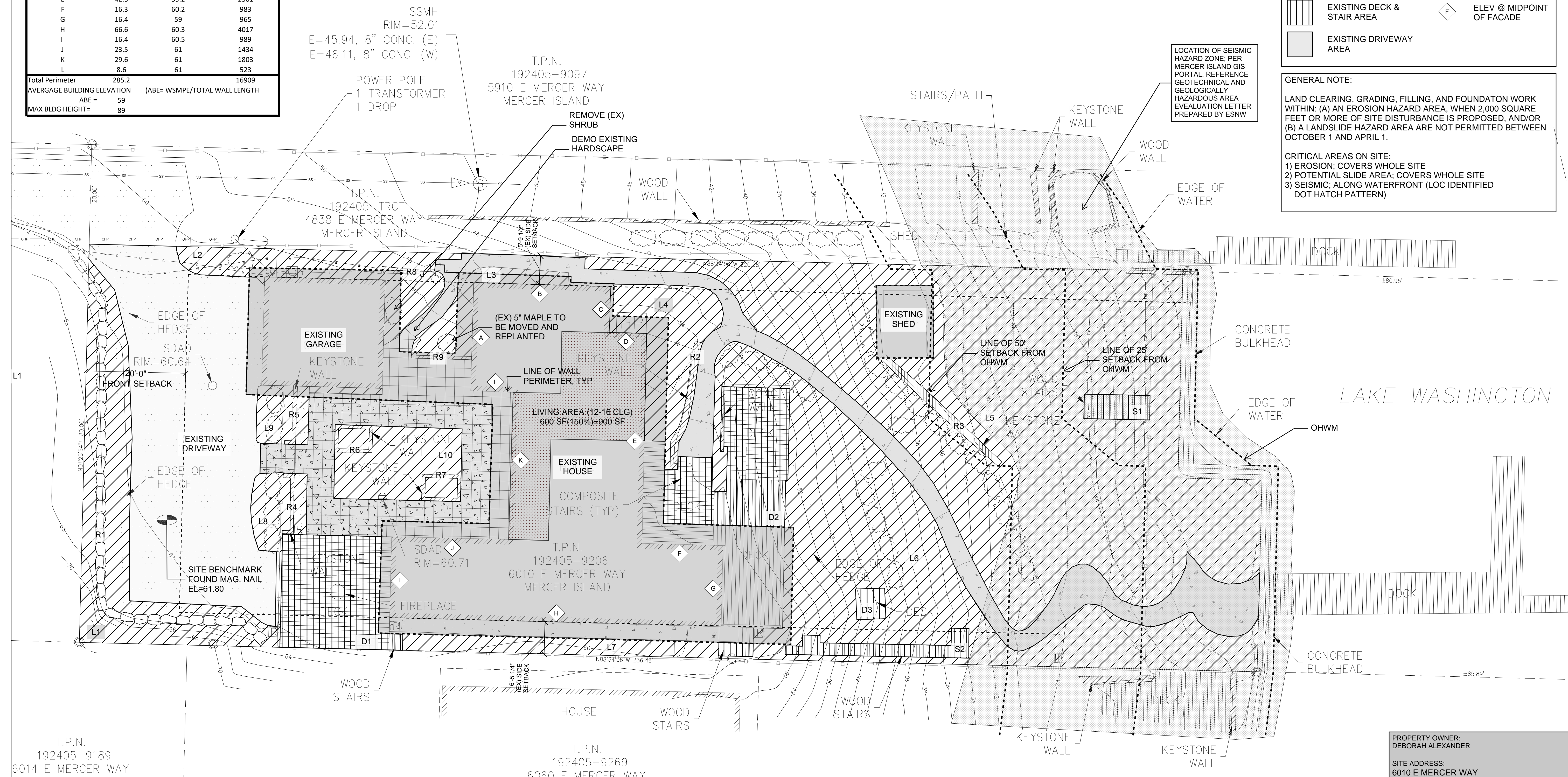
ALEXANDER RESIDENCE RENOVATION & ADDITION
 6010 E Mercer Way, Mercer Island, WA 98040
 OWNER: Deborah Alexander



PERMIT NUMBER
 PROJECT NUMBER
2022-4
 SUBMITTAL: DATE:
 PERMIT SUBMITTAL 9/27/22

APPROVAL STAMP
 EXISTING SITE PLAN

A0a



1 SITE PLAN - EXISTING
 SCALE = 1"=10'-0"
 NORTH

ZONING SUMMARY AND CALCULATIONS (EXISTING):

TOTAL LOT AREA		
TOTAL LOT AREA	18318	
MAX LOT COVERAGE	35%	
REQUIRED LANDSCAPE AREA	65%	
MAX HARDSCAPE	9% NET LOT AREA	

ALLOWABLE MAX LOT COVERAGE	Existing Lot Coverage		Proposed Lot Coverage	
	Existing	Proposed	Existing	Proposed
6411	6640	6576		

Required Landscape Area	Existing Landscape Area		Proposed Landscape Area	
	Existing	Proposed	Existing	Proposed
11907	8812	8848		







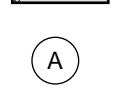
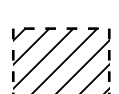
ALLOWABLE MAX HARDSCAPE	Existing Hardscape		Proposed Hardscape	
	Existing	Proposed	Existing	Proposed
1072	3224	3160		

NOTE: RESIDENCE ORIGINALLY CONSTRUCTED IN 1969 AND RENOVATED IN 1998. PROJECT CONFORMS TO THE REQUIREMENTS OF NONCONFORMING STRUCTURES PER 19.01.050.D.1.b

	Lot Coverage		Hardscape Area	
	Existing	Proposed	Existing	Proposed
House	4646			
Shed	166			
Driveway	1828			
TOTAL	6640			
Landscape Area				
Existing	717			
L1			R1	169
L2	388		R2	40
L3	163		R3	50
L4	398		R4	10
L5	4252		R5	10
L6	2068		R6	25
L7	213		R7	25
L8	141		R8	10
L9	130		R9	11
L10	342			
Total	8812			
Stairs				
S1			S1	65
Deck				
D1			D1	466
D2			D2	515
D3			D3	36
Paved Courtyard				
			D3	621
				3224

PROPERTY OWNER: DEBORAH ALEXANDER
 SITE ADDRESS: 6010 E MERCER WAY MERCER ISLAND, WA 98040
 PARCEL NUMBER: 192405-9206
 SITE AREA: 18,318 SF (0.42 ACRES)
 DATUM: NAD 83 (2011)
 ZONE: R-15
 ZONING REQUIREMENTS:
 SITE SLOPE: 21%
 HIGH POINT - 70'
 LOW POINT - 20'
 HORIZONTAL DISTANCE - 236'
 SLOPE = 50'/236' = 21% SLOPE
 MAX. IMPERVIOUS SURFACE ALLOWED: 35%
 MAX. BUILDING HEIGHT ALLOWED: 30'-0"
 MIN. BUILDING SETBACK FROM FRONT: 20'-0"
 MIN. BUILDING SETBACK FROM SIDE: 5'-0"
 MIN. BUILDING SETBACK FROM REAR: 25'-0"
 GROSS FLOOR AREA ALLOWED: 18,318 SF (40%) = 7,327 SF >

PLAN LEGEND

-  BUILDING(S) PRIMARY AND ACCESSORY
-  EXISTING LANDSCAPING AREA
-  EXISTING DECK & STAIR AREA
-  EXISTING DRIVEWAY AREA
-  PROPOSED NEW LANDSCAPE AREA
-  EXISTING HARDSCAPE AREA
-  WALL SEGMENT
-  NEW LOT COVERAGE AREA

GENERAL NOTE:

LAND CLEARING, GRADING, FILLING, AND FOUNDATION WORK WITHIN: (A) AN EROSION HAZARD AREA, WHEN 2,000 SQUARE FEET OR MORE OF SITE DISTURBANCE IS PROPOSED, AND/OR (B) A LANDSLIDE HAZARD AREA ARE NOT PERMITTED BETWEEN OCTOBER 1 AND APRIL 1.

CRITICAL AREAS ON SITE:

- 1) EROSION; COVERS WHOLE SITE
- 2) POTENTIAL SLIDE AREA; COVERS WHOLE SITE
- 3) SEISMIC; ALONG WATERFRONT (LOC IDENTIFIED DOT HATCH PATTERN)

ZONING SUMMARY AND CALCULATIONS (PROPOSED):

TOTAL LOT AREA	18318
MAX LOT COVERAGE	35%
REQUIRED LANDSCAPE AREA	65%
MAX HARDSCAPE	9% NET LOT AREA

	Existing Lot Coverage	Proposed Lot Coverage
ALLOWABLE MAX LOT COVERAGE	6411	6576
Required Landscape Area	11907	8848
Existing Landscape Area	8812	8848
Proposed Landscape Area		8848

	Existing Hardscape	Proposed Hardscape
ALLOWABLE MAX HARDSCAPE	1072	3160
Existing Hardscape	3224	3160
Proposed Hardscape		3160

NOTE: RESIDENCE ORIGINALLY CONSTRUCTED IN 1969 AND RENOVATED IN 1998. PROJECT CONFORMS TO THE REQUIREMENTS OF NONCONFORMING STRUCTURES PER 19.01.050.D.1.b

STRUCTURAL ALTERATION CALCULATION (PROPOSED):

Lot Coverage		Hardscape Area		ALLOWABLE STRUCTURAL ALTERATION NON-CONFORMING USE	
Proposed Lot Coverage		Proposed Walkway	1022	WALL SEGMENTS	
House	4830	Retaining Wall		A	21.5
Shed	166			B	27.525
Driveway	1580			C	9.225
TOTAL	6576			D	7.425
				E	42.25
				F	16.325
				G	16.35
				H	66.625
				I	16.35
				J	23.5
				K	29.55
				L	8.575
				Total Perimeter	285.2 If
				Max Modified Wall	0.4 %
				Allowed % of Modified Wall	114.1 If
				Actual Amount of Modified Wall	21.5 If
					<114.1 If OK

PROPERTY OWNER:
DEBORAH ALEXANDER

SITE ADDRESS:
6010 E MERCER WAY
MERCER ISLAND, WA 98040

PARCEL NUMBER:
192405-9206

SITE AREA:
18,318 SF (0.42 ACRES)

DATUM:
NAD 83 (2011)

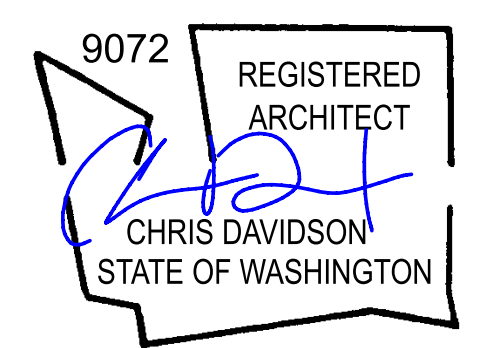
ZONE: R-15

ZONING REQUIREMENTS:

SITE SLOPE:	21%
MAX. IMPERVIOUS SURFACE ALLOWED:	35%
MAX. BUILDING HEIGHT ALLOWED:	30'-0"
MIN. BUILDING SETBACK FROM FRONT:	20'-0"
MIN. BUILDING SETBACK FROM SIDE:	5'-0"
MIN. BUILDING SETBACK FROM REAR:	25'-0"



ALEXANDER RESIDENCE RENOVATION & ADDITION
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OWNER: Deborah Alexander



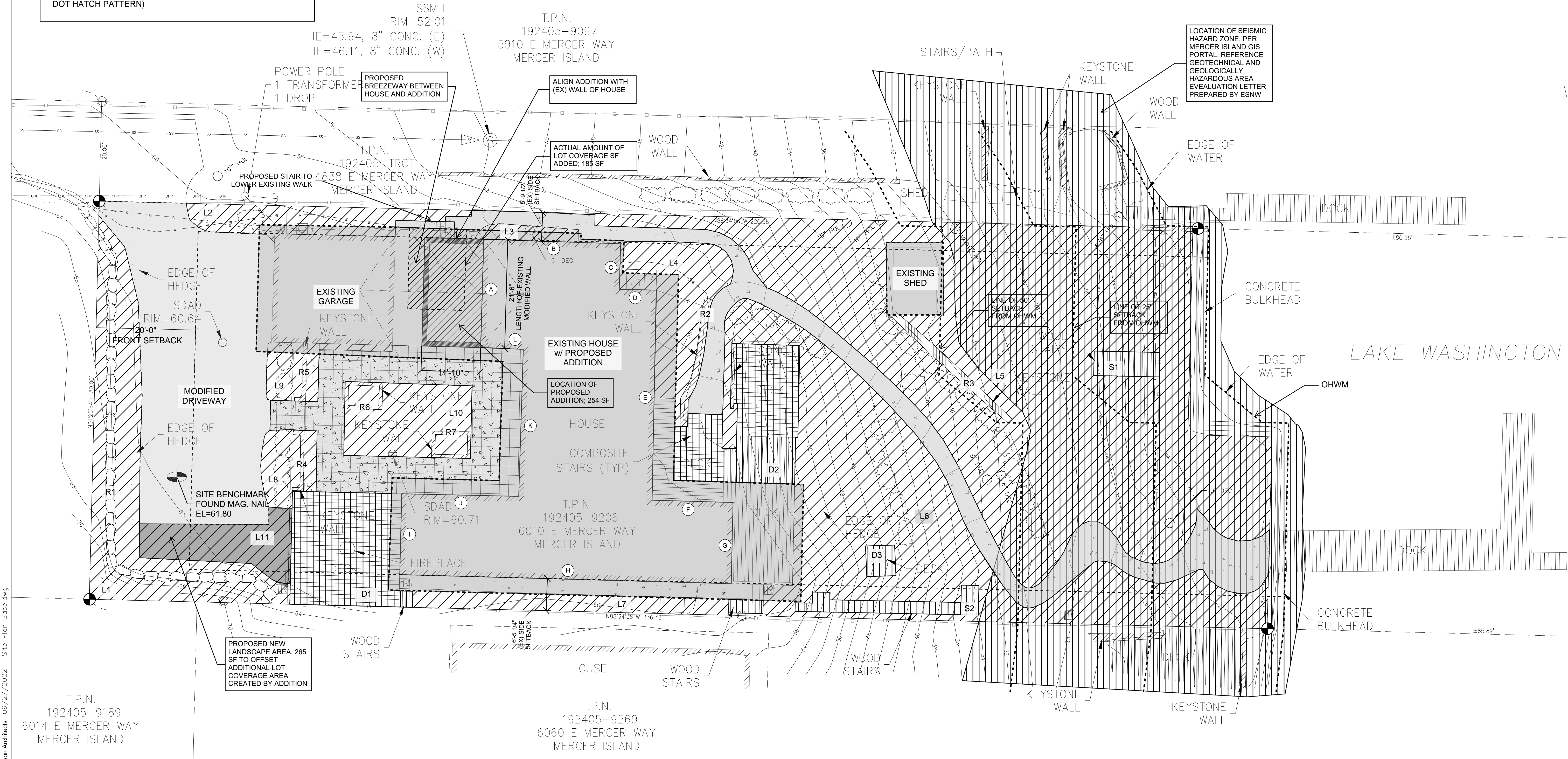
PERMIT NUMBER

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2022-4

SUBMITTAL: DATE:
PERMIT SUBMITTAL 9/27/22

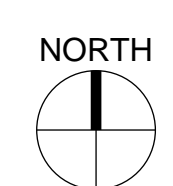
APPROVAL STAMP
PROPOSED SITE PLAN

A0b



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1 SITE PLAN - PROPOSED
SCALE = 1"=10'-0"



**ALEXANDER RESIDENCE
 RENOVATION & ADDITION**
 6010 E Mercer Way, Mercer Island, WA 98040
 OWNER: Deborah Alexander

9072 REGISTERED ARCHITECT
 CHRIS DAVIDSON
 STATE OF WASHINGTON

PERMIT NUMBER

PROJECT NUMBER

2022-4

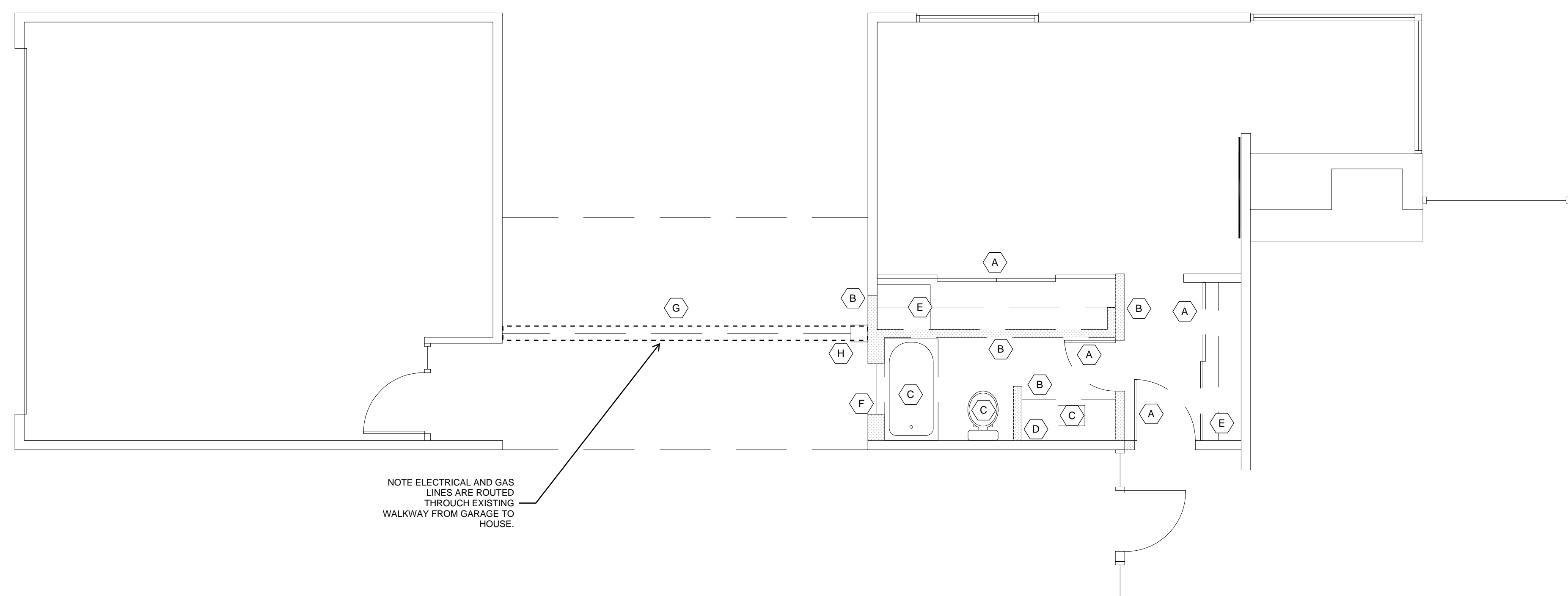
SUBMITTAL: DATE:
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APPROVAL STAMP

FIRST FLOOR -
 DEMO PLAN

A1

- DEMOLITION NOTES:**
- (A) DEMOLISH ALL DASHED DOORS, TYP.
 - (B) DEMOLISH ALL DASHED AND HATCHED WALLS, TYP.
 - (C) DEMOLISH PLUMBING FIXTURES
 - (D) DEMOLISH CASEWORK
 - (E) DEMOLISH CLOSET PACKAGES
 - (F) DEMOLISH EXISTING WINDOW
 - (G) DEMOLISH EXTERIOR COVERED WALKWAY.
 - (H) RELOCATE EXISTING DRAIN



1 MAIN FLOOR - DEMO PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- WALL TO BE DEMOLISHED
- === EXISTING FULL HT WALL

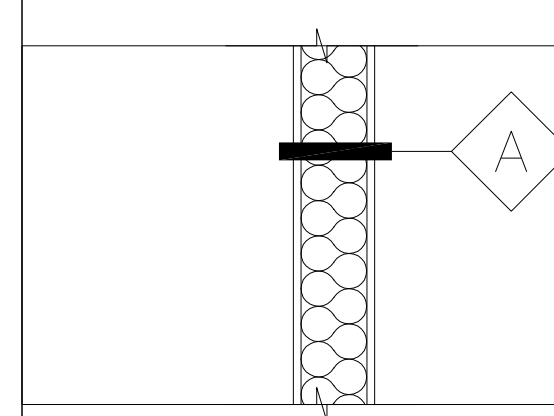
WALL CONSTRUCTION GENERAL NOTES

- A. PROVIDE 6" HIGH WOOD BLOCKING OR METAL STRAP AT WALL HUNG ACCESSORY LOCATIONS INCLUDING, BUT NOT LIMITED TO MARKER BOARDS, TACKBOARD, CASEWORK, ETC. VERIFY WITH ARCHITECT IF ANY CLARIFICATION IS REQUIRED. PROVIDE FIRE RETARDANT TREATED WOOD IN RATED WALL AREA.
- B. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD AND FROM FACE OF STUD TO EXISTING WALL FINISH WHERE DIMENSIONS TAKEN FROM EXISTING WALL TO REMAIN. CONTACT ARCHITECT WITH ANY DISCREPANCIES IN DIMENSION PRIOR TO COMMENCEMENT OF CONSTRUCTION. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEW OF EXISTING CONDITIONS AND LAYOUT OF NEW CONSTRUCTION PRIOR TO STARTING WORK.
- C. PROVIDE 5/8" THICK CEMENT BOARD AT ALL WALLS WHERE TILE INSTALLATION IS REQUIRED IN LIEU OF GYP BOARD.
- D. SCRIBE GYPSUM BOARD TIGHT TO THE BOTTOM OF DECK AND SPECIFICALLY WHEN PERPENDICULAR TO DECK. CAULK ALL JOINTS
- E. ALL NEW WALLS TO BE WALL TYPE **B**, UNLESS NOTED OTHERWISE.
- F. (EX) WALLS TO REMAIN MAY REQUIRE PATCHING AND REPAIR.

WALL TYPES

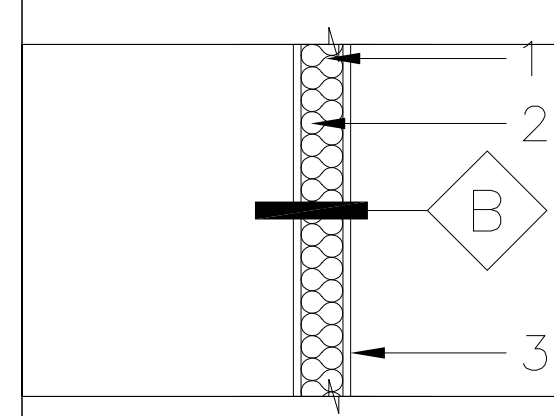
INTERIOR WALLS

TYPE A - INTERIOR 2X6 WOOD STUD WALL



1. 2X6 WOOD STUDS AT 24" O.C. TO THE BOTTOM OF STRUCTURAL ROOF FRAMING.
2. 4" THICK SOUND ATTENUATION BATT INSULATION. FRICTION FIT BETWEEN STUDS. OPTIONAL
3. BOTH SIDES: 5/8" THICK TYPE GYP BOARD TO THE BOTTOM OF FINISH CEILING. TAPE, TEXTURE, AND PAINT. COLOR TO BE SELECTED. PROVIDE MOISTURE-RESISTANT GYP BOARD AT WET LOCATIONS BATHROOM AND WET AREAS) AND CEMENT BOARD UNDER CERAMIC/PORCELAIN TILE FINISHES

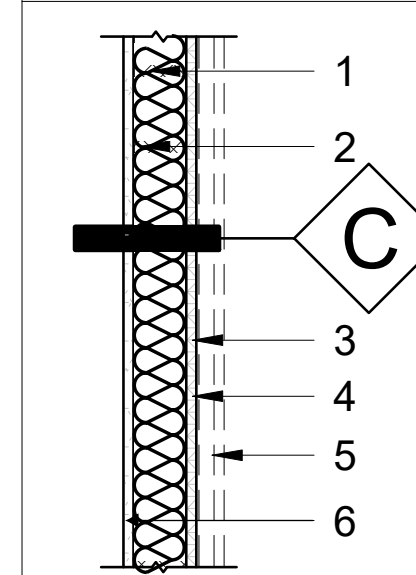
TYPE B - INTERIOR 2X4 WOOD STUD WALL



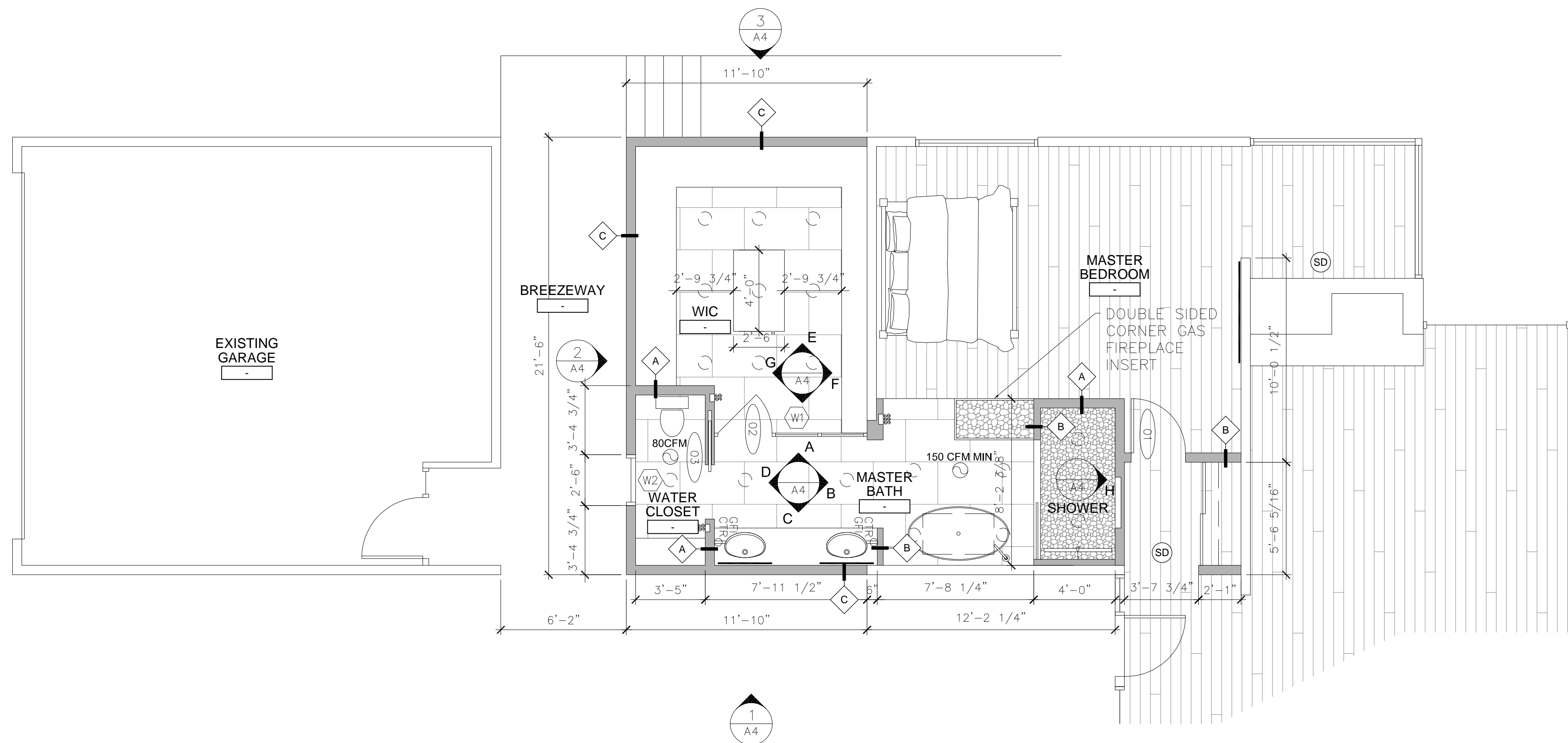
1. 2X4 WOOD STUDS AT 24" O.C. TO THE BOTTOM OF STRUCTURAL ROOF FRAMING.
2. 4" THICK SOUND ATTENUATION BATT INSULATION. FRICTION FIT BETWEEN STUDS. OPTIONAL
3. BOTH SIDES: 5/8" THICK TYPE GYP BOARD TO THE BOTTOM OF FINISH CEILING. TAPE, TEXTURE, AND PAINT. COLOR TO BE SELECTED. PROVIDE MOISTURE-RESISTANT GYP BOARD AT WET LOCATIONS BATHROOM AND WET AREAS) AND CEMENT BOARD UNDER CERAMIC/PORCELAIN TILE FINISHES

EXTERIOR WALLS

TYPE C - EXTERIOR 2X6 WOOD STUD WALL



1. 2X6 WOOD STUDS AT 24" O.C. TO THE BOTTOM OF ROOF DECK.
2. R-21 BATT INSULATION
3. INTERIOR SIDES: 5/8" THICK TYPE GYP BOARD TO THE BOTTOM OF FINISH CEILING. PROVIDE MOISTURE RESISTANT GYP BOARD AT WET LOCATIONS (RESTROOMS, KITCHENS, AND OTHER WET AREAS) AND CEMENT BOARD UNDER CERAMIC / PORCELAIN TILE FINISHES.
4. EXTERIOR PLY SHEATHING WITH WRB / AB MEMBRANE
5. NEW SIDING TO MATCH EXISTING, PAINT TO MATCH
6. 5/8" GYP WALL BOARD



1 MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

	NEW 3'-0" HT WALL		NEW 4" DIA LED CAN LIGHT		WINDOW TAG		SPECIAL PURPOSE OUTLET		DUPLEX RECEPTACLE /SWITCHED
	EXISTING FULL HT WALL		NEW LED VANITY LIGHT		DOOR TAG		ELECTRICAL SWITCH +44" AFF TO CENTER		DUPLEX RECEPTACLE ABOVE COUNTER
	NEW FULL HT WALL		BATHROOM/ LAUNDRY FAN		WALL TAG		DUPLEX RECEPTACLE +18" AFF TO CENTER		GFI RECEPTACLE
			COMBO CO/ SMOKE DETECTOR		ELEVATION TAG				

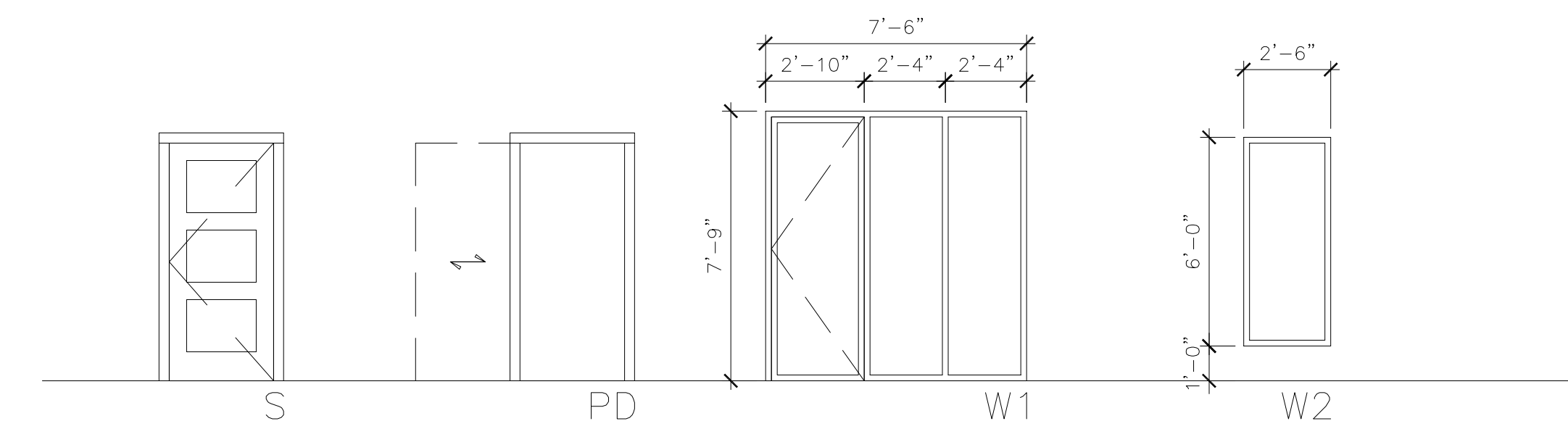
DOOR SCHEDULE

opening number	manufacturer	type	matl	con	DOOR			special detail	threshold detail	type	matl	FRAME			hardware group	remarks	area (sf)	U value
					leaf width	height	thickness					head	jamb	special				
01	SIMPSON	S	WD	WD	2'-8"	6'-10"	1 1/2"			S	WD				PRIVACY SET			
02	SLIDING DOOR CO	WI	ST	ST	2'-8"	7'-9"	2"			BD	MT				MFR PROVIDED HDW, FV			
03	SIMPSON	PD	WD	WD	2'-8"	6'-10"	1 1/2"			S	WD				PRIVACY SET			

NOTE: MATCH NEW HARDWARE TO EXISTING HARDWARE SETS

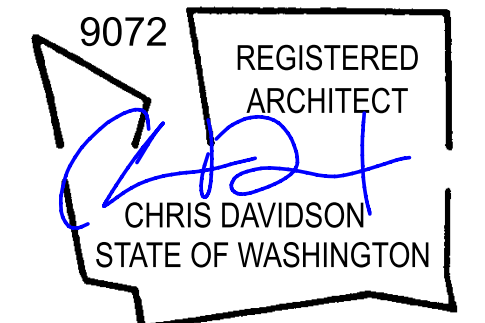
5 DOOR AND WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"



15037 SE 171st St Renton, WA 98058
206.992.1853 tel

ALEXANDER RESIDENCE
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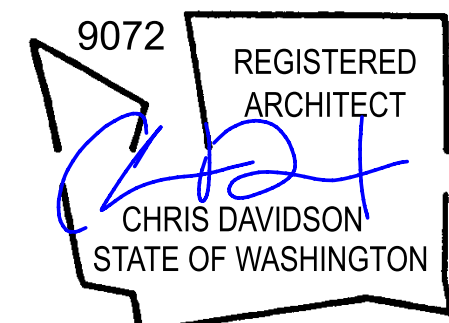
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APPROVAL STAMP

FLOOR PLAN AND DOOR & WINDOW SCHEDULES

A2

**ALEXANDER RESIDENCE
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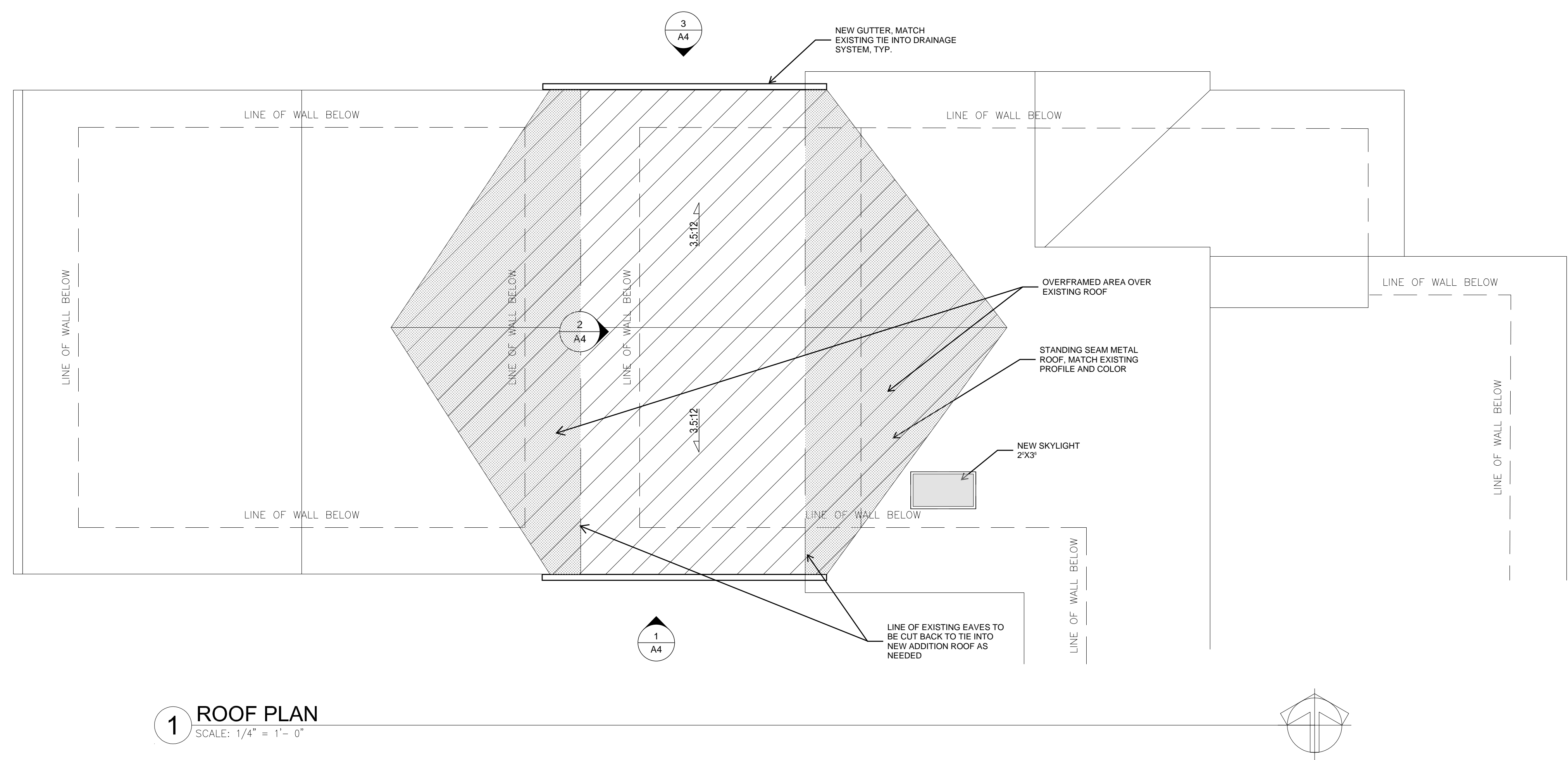
2022-4

SUBMITTAL: DATE:
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APPROVAL STAMP

ROOF PLAN

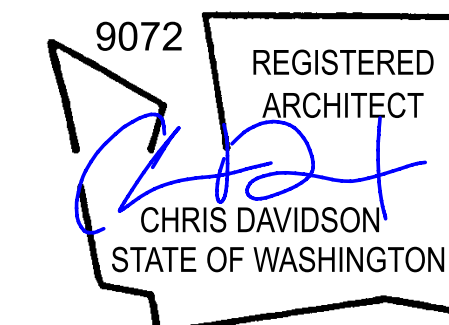
A3



1 ROOF PLAN
 SCALE: 1/4" = 1'- 0"

ROOF PLAN LEGEND	
	AREA OF NEW ROOF

ALEXANDER RESIDENCE
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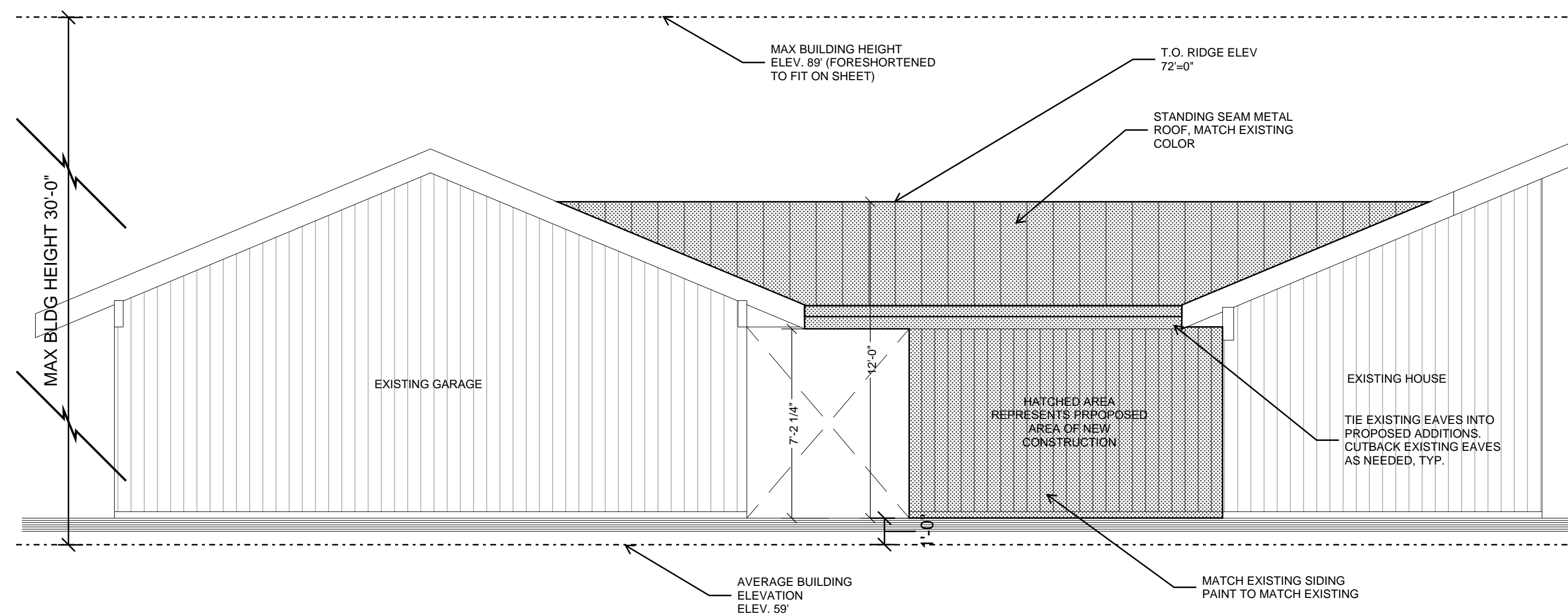
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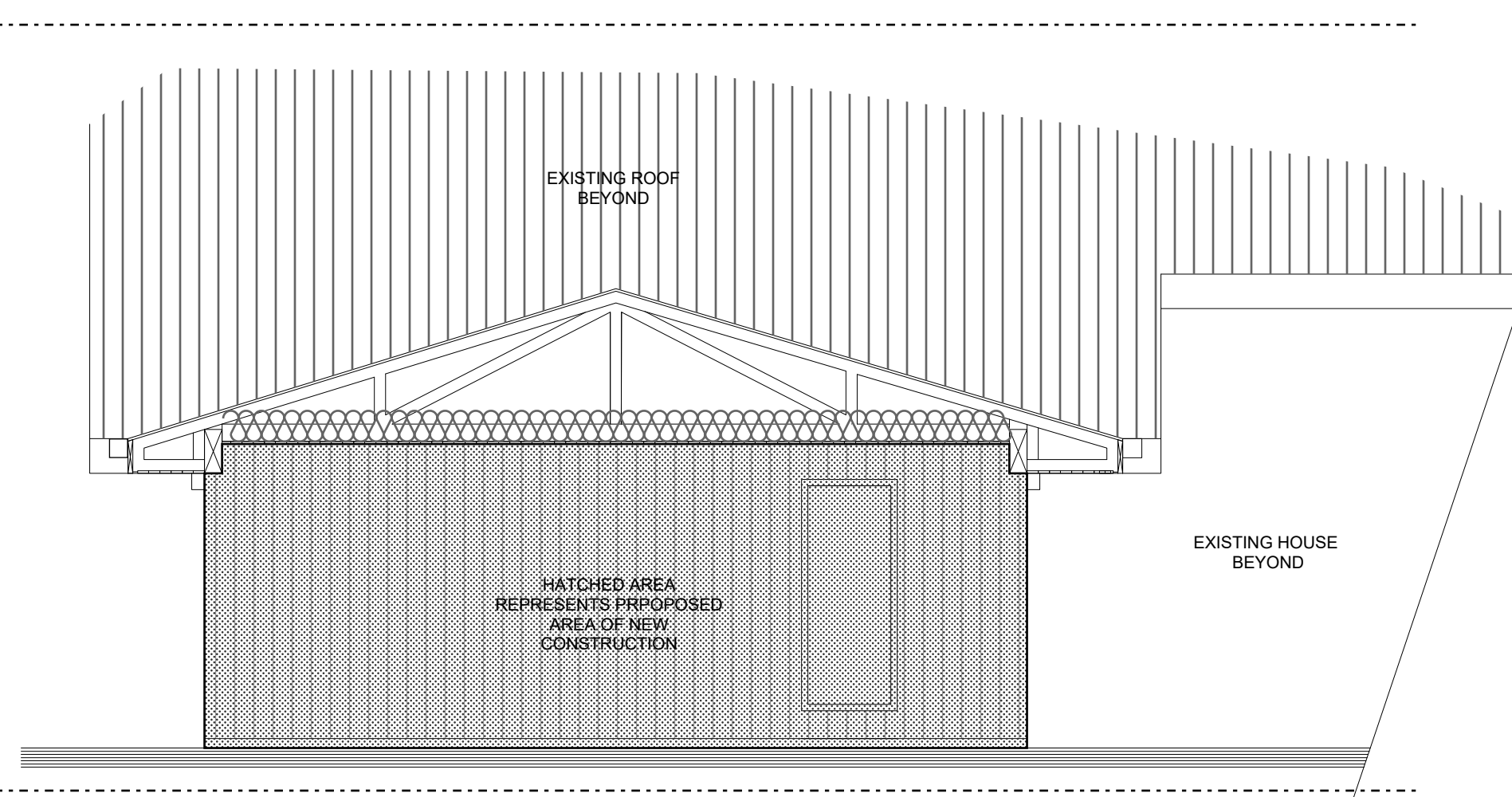
EXTERIOR & INTERIOR
ELEVATIONS

A4



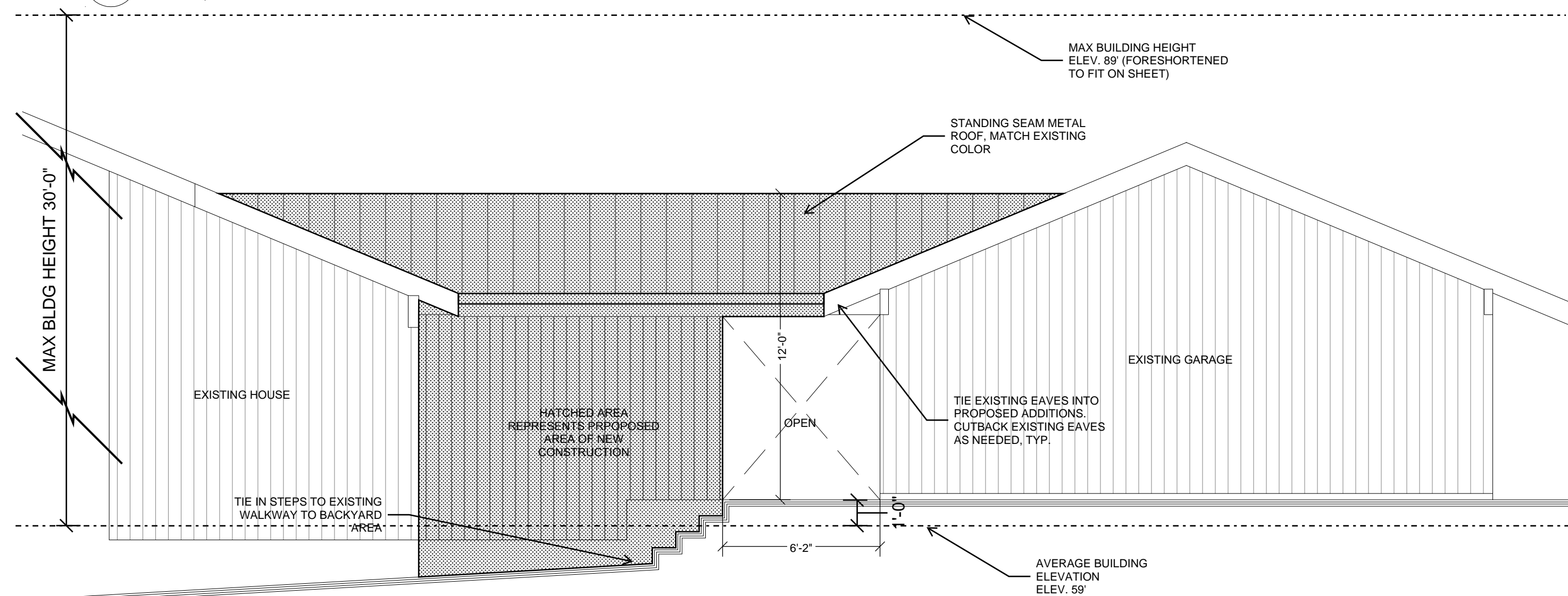
1 EXTERIOR ELEVATION

SCALE: 1/4" = 1'- 0"



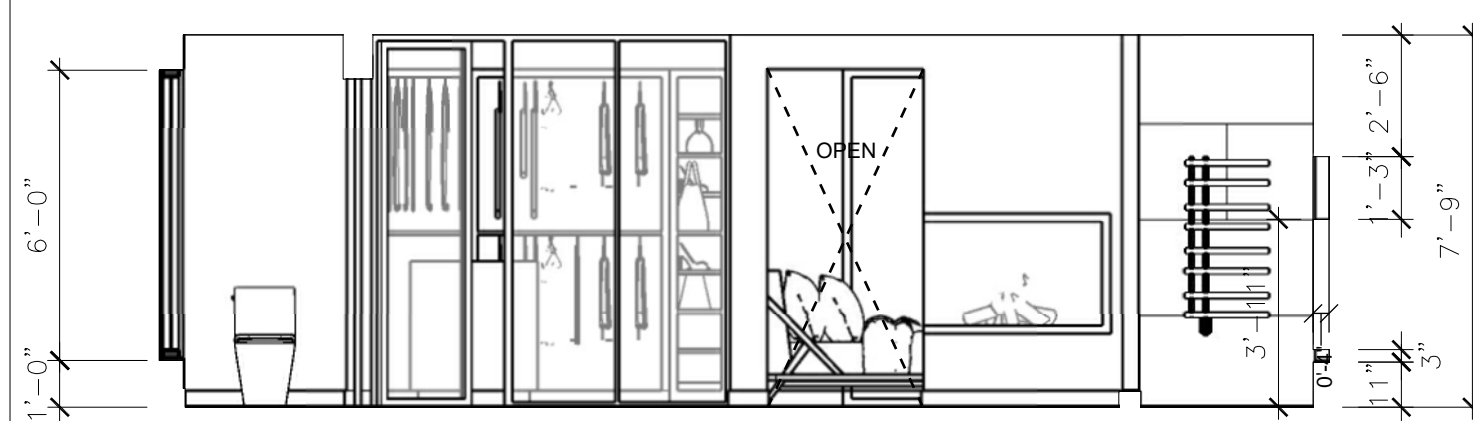
2 EXTERIOR ELEVATION

SCALE: 1/4" = 1'- 0"



3 EXTERIOR ELEVATION

SCALE: 1/4" = 1'- 0"



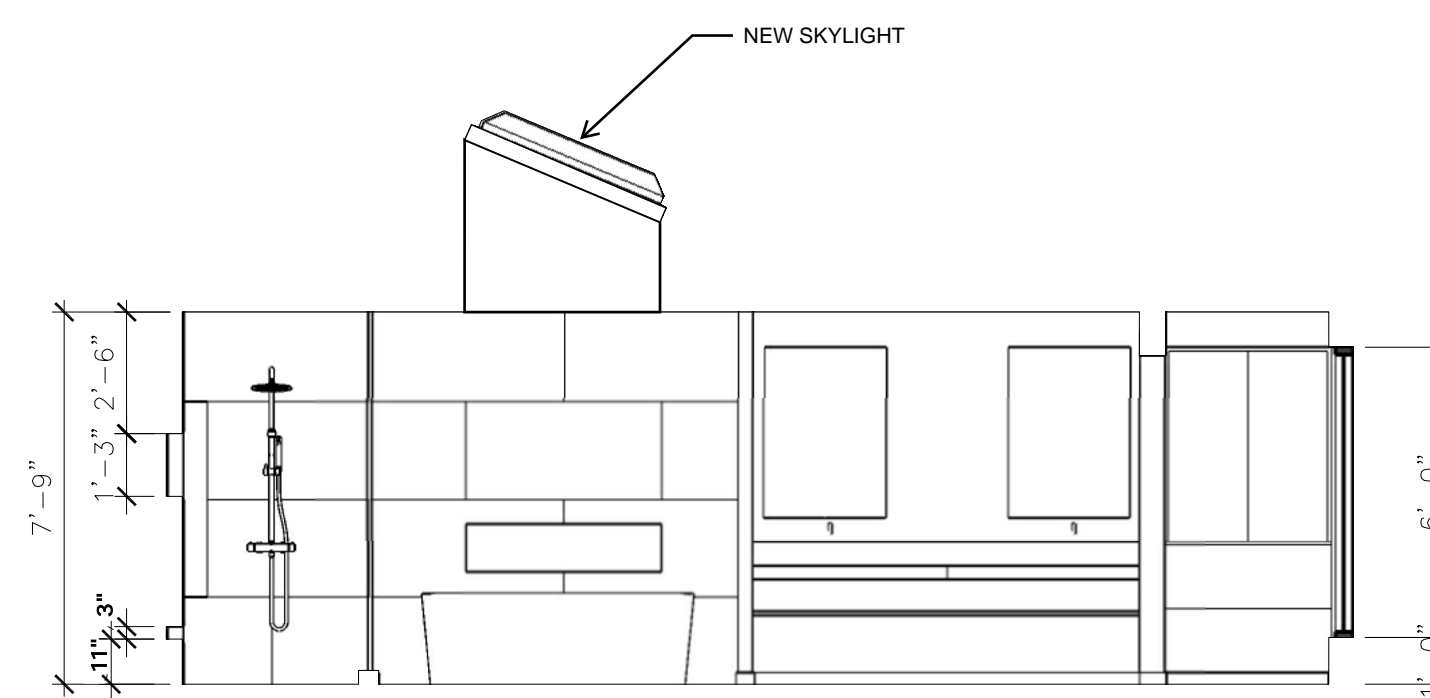
A INT ELEVATION @ MASTER BATH

SCALE: 1/4" = 1'- 0"



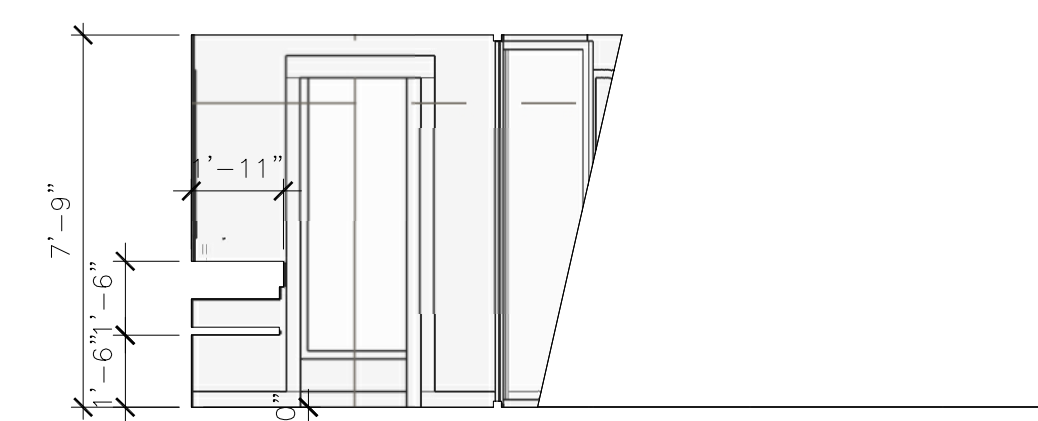
B INT ELEVATION @ MASTER BATH

SCALE: 1/4" = 1'- 0"



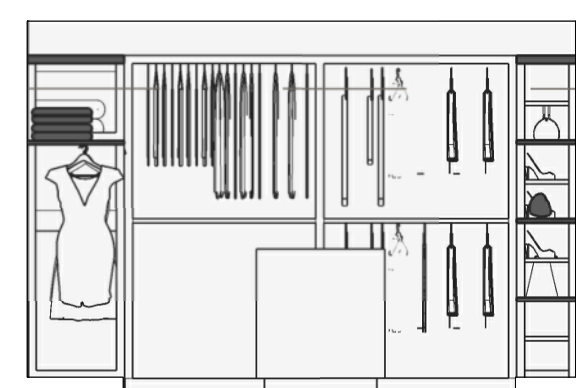
C INT ELEVATION @ MASTER BATH

SCALE: 1/4" = 1'- 0"



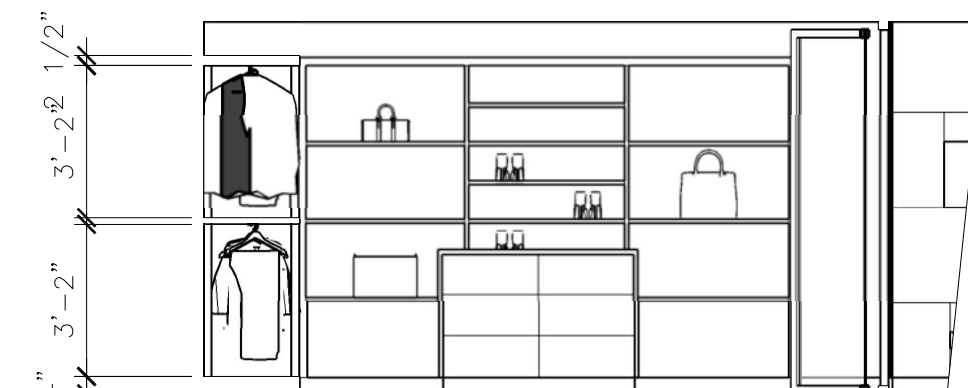
D INT ELEVATION @ MASTER BATH

SCALE: 1/4" = 1'- 0"



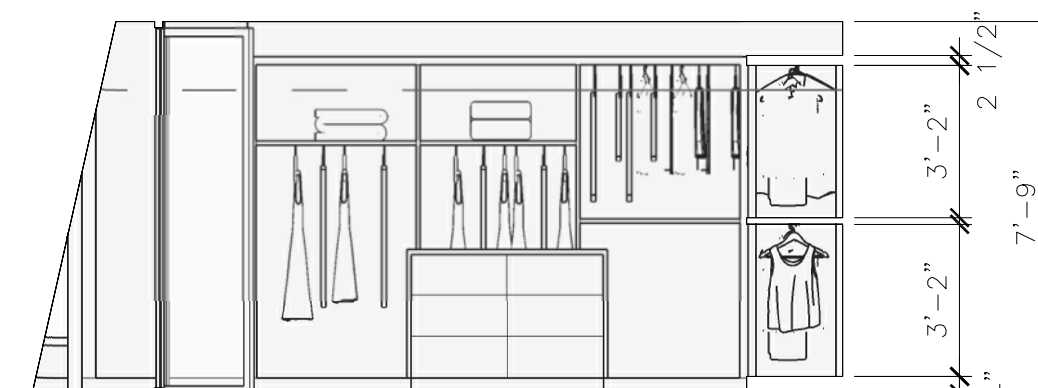
E INT ELEVATION WIC

SCALE: 1/4" = 1'- 0"



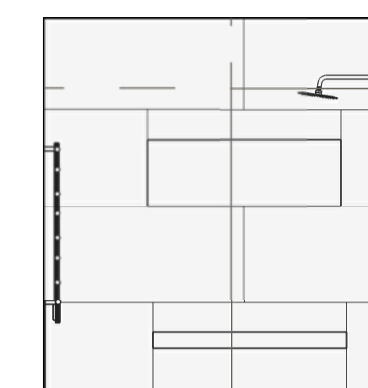
F INT ELEVATION WIC

SCALE: 1/4" = 1'- 0"



G INT ELEVATION WIC

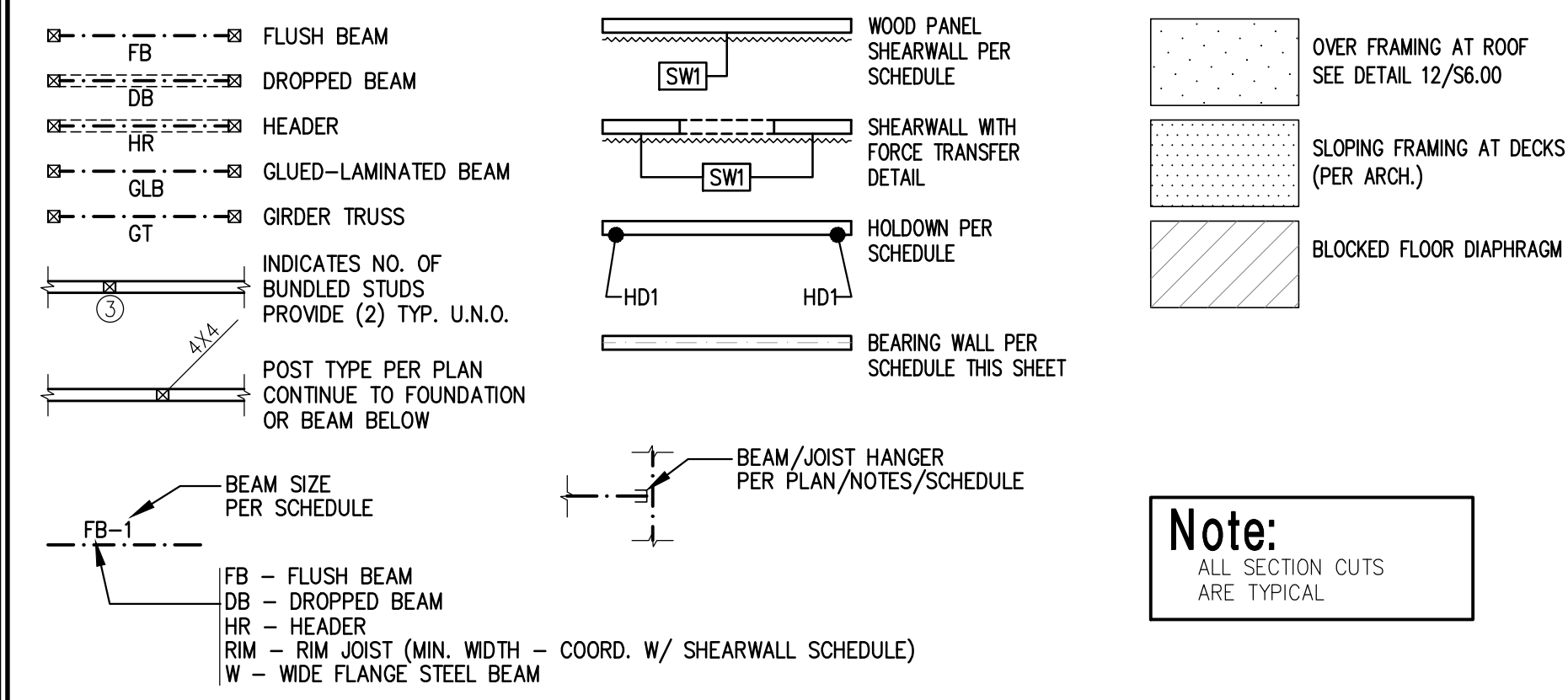
SCALE: 1/4" = 1'- 0"



H INT ELEVATION SHOWER

SCALE: 1/4" = 1'- 0"

FRAMING LEGEND



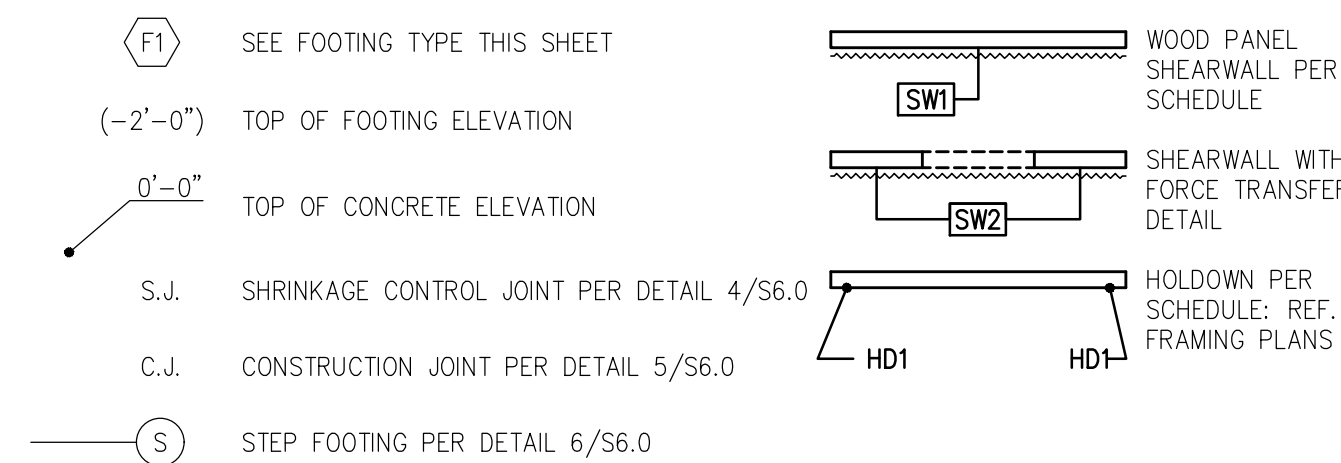
FRAMING NOTES

1. ROOF FRAMING SHALL BE PREENGINEERED TRUSSES AT 24' O.C. SEE DETAILS ON S6.0 FOR TRUSS TO WALL CONNECTIONS. SEE ARCHITECTURAL DRAWINGS FOR ALL ROOF PITCHES AND CEILING VAULTS.
2. FLOOR FRAMING SHALL BE 2X10'S AT 16" O.C. LAP JOISTS 4" ATOP WALLS. SECURE JOIST TO TOP PLATES WITH (2) 8d NAILS. JOISTS UNDER AND PARALLEL TO BEARING AND SHEAR WALLS SHALL BE DOUBLE JOISTS U.N.O. BLOCKING AT BEARING AND SHEAR WALLS SHALL BE DOUBLED U.N.O.
3. WALLS INDICATED ARE BELOW THE FRAMING LEVEL. SEE BEARING WALL SCHEDULE THIS SHEET.
4. PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND BUILT TO ACCOMMODATE 1/4" PER FLOOR WOOD SHRINKAGE (ACCUMULATIVE).
5. FRAMING MEMBERS AND SHEATHING SHALL BE PER STRUCTURAL NOTES ON SHEET S1.0.
6. HANGERS INDICATED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE.
10. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
11. BUNDLED STUDS FROM THIS LEVEL SHALL BE CONTINUED DOWN TO FOUNDATION OR SUPPORTING BEAM.
12. ALL BEAMS AND HEADERS SHALL HAVE A MINIMUM OF (1) KING STUD AT EACH END FOR BRACING U.N.O.

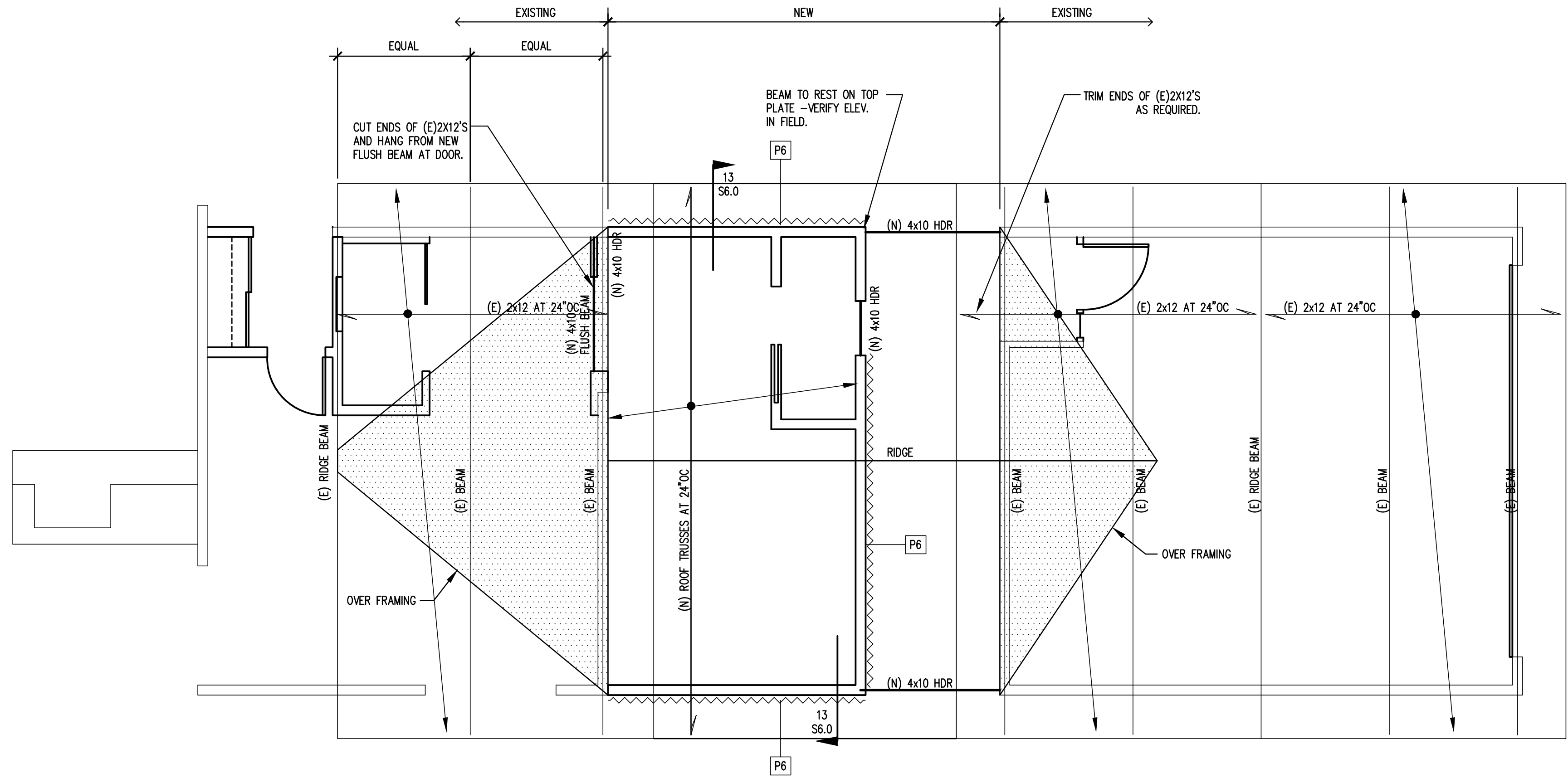
FOUNDATION NOTES

1. ALL FOOTING SHALL BEAR ON COMPETENT NATIVE MATERIAL.
2. CENTER INTERIOR FOOTINGS ON WALLS OR COLUMNS TYPICAL U.N.O.
3. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
4. SEE ARCHITECTURAL PLANS FOR WALL LOCATIONS.
5. SEE DETAIL FOR STEPPED FOOTING DETAIL.
6. SEE ROOF/ FLOOR FRAMING PLAN SHEETS FOR WOOD FRAMING LEGEND, NOTES, AND SCHEDULES.
7. FOOTING DRAINS ARE TYPICALLY AT PERIMETER OF FOUNDATIONS. FOOTING DRAINS, DOWNSPOUTS AND THEIR CONNECTIONS BY OTHERS. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
8. ALL TOP OF CONCRETE AND TOP OF FOOTING ELEVATIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.

FOUNDATION LEGEND

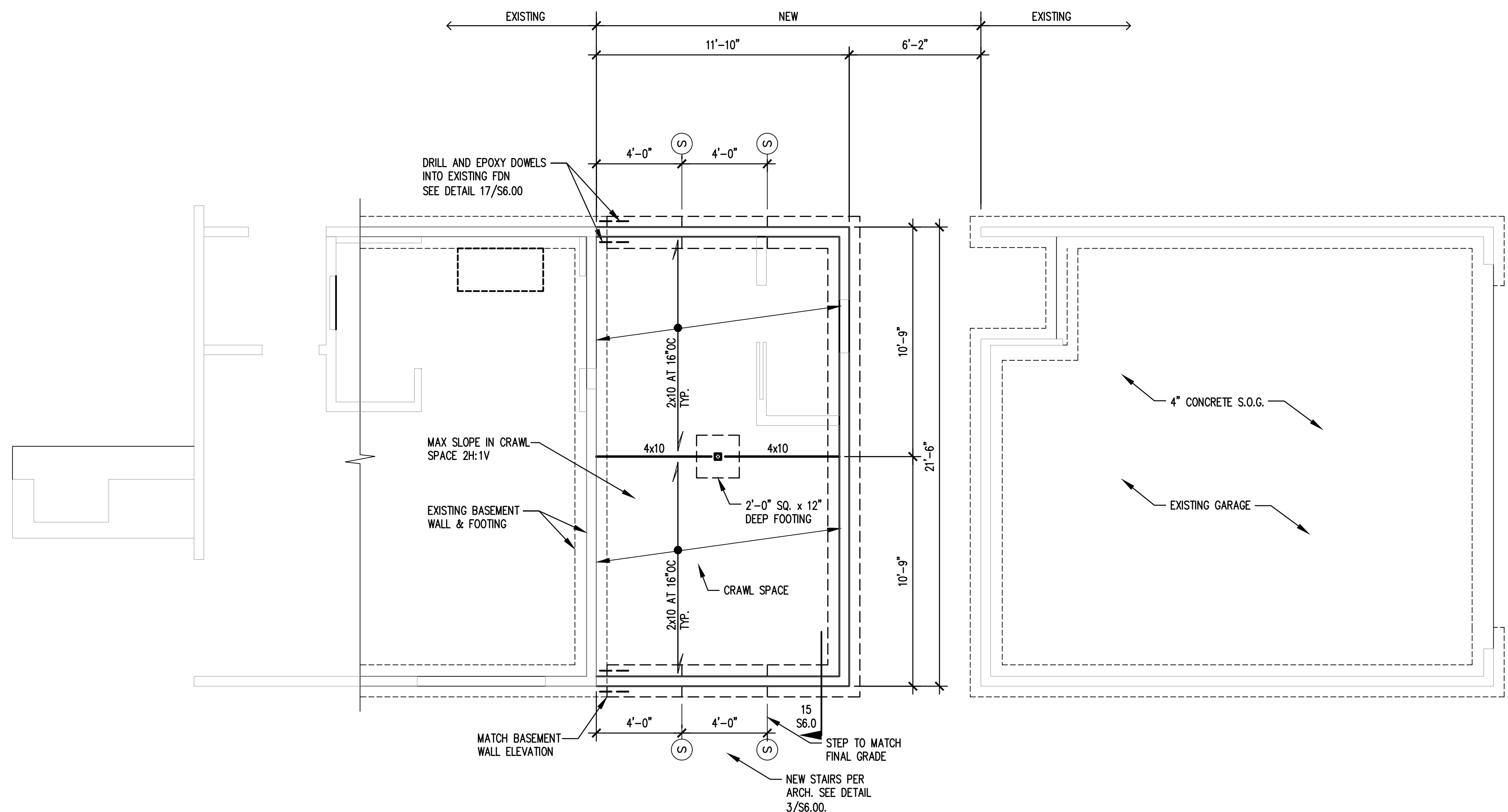


Note:
ALL SECTION CUTS ARE TYPICAL



Roof Framing Plan

SCALE: 1/4" = 1'-0"

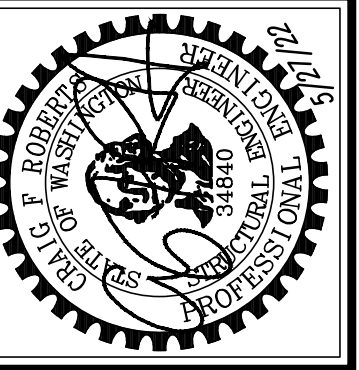


Foundation and First Floor Framing Plan

SCALE: 1/4" = 1'-0"

CT ENGINEERING INC.

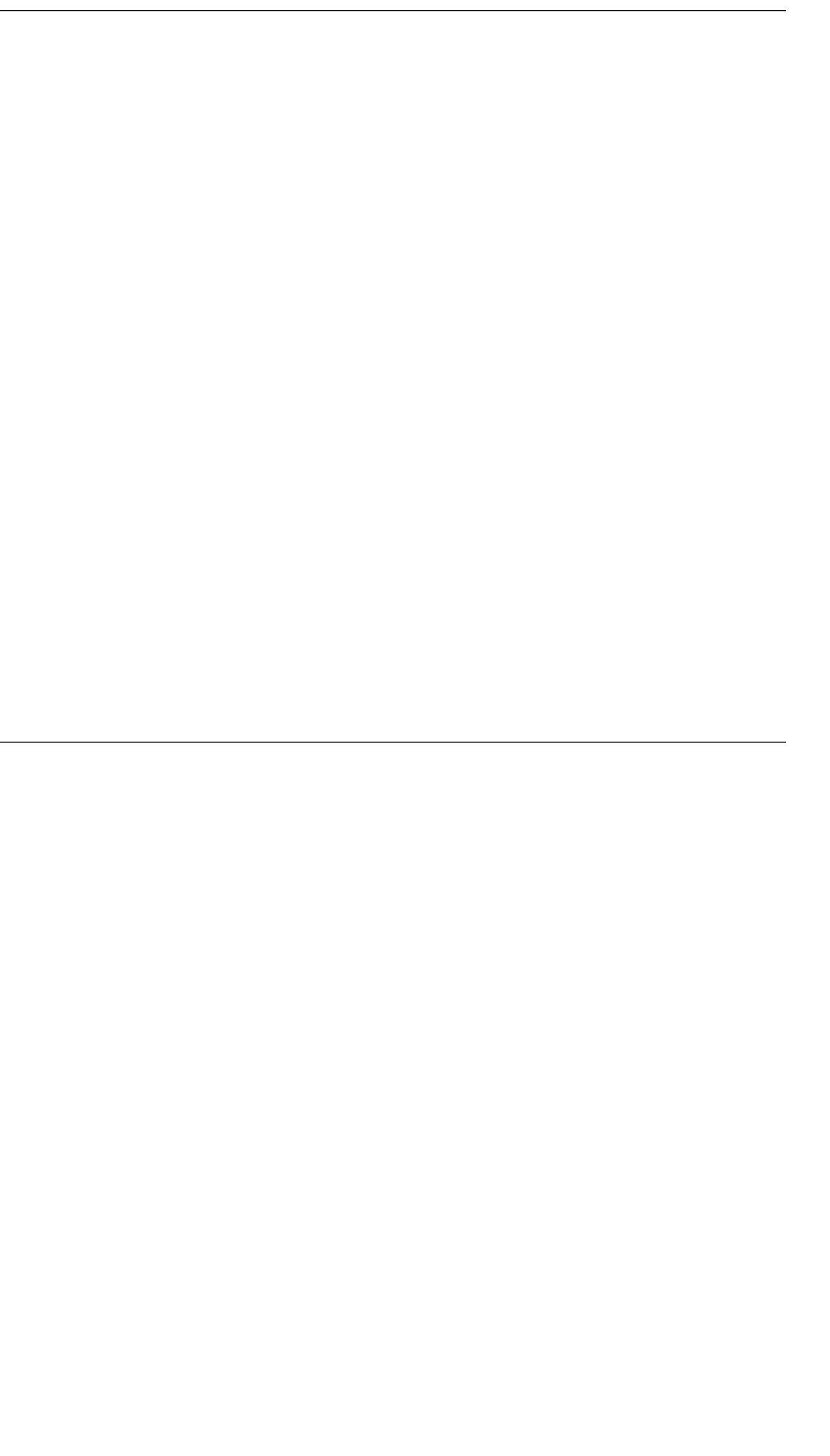
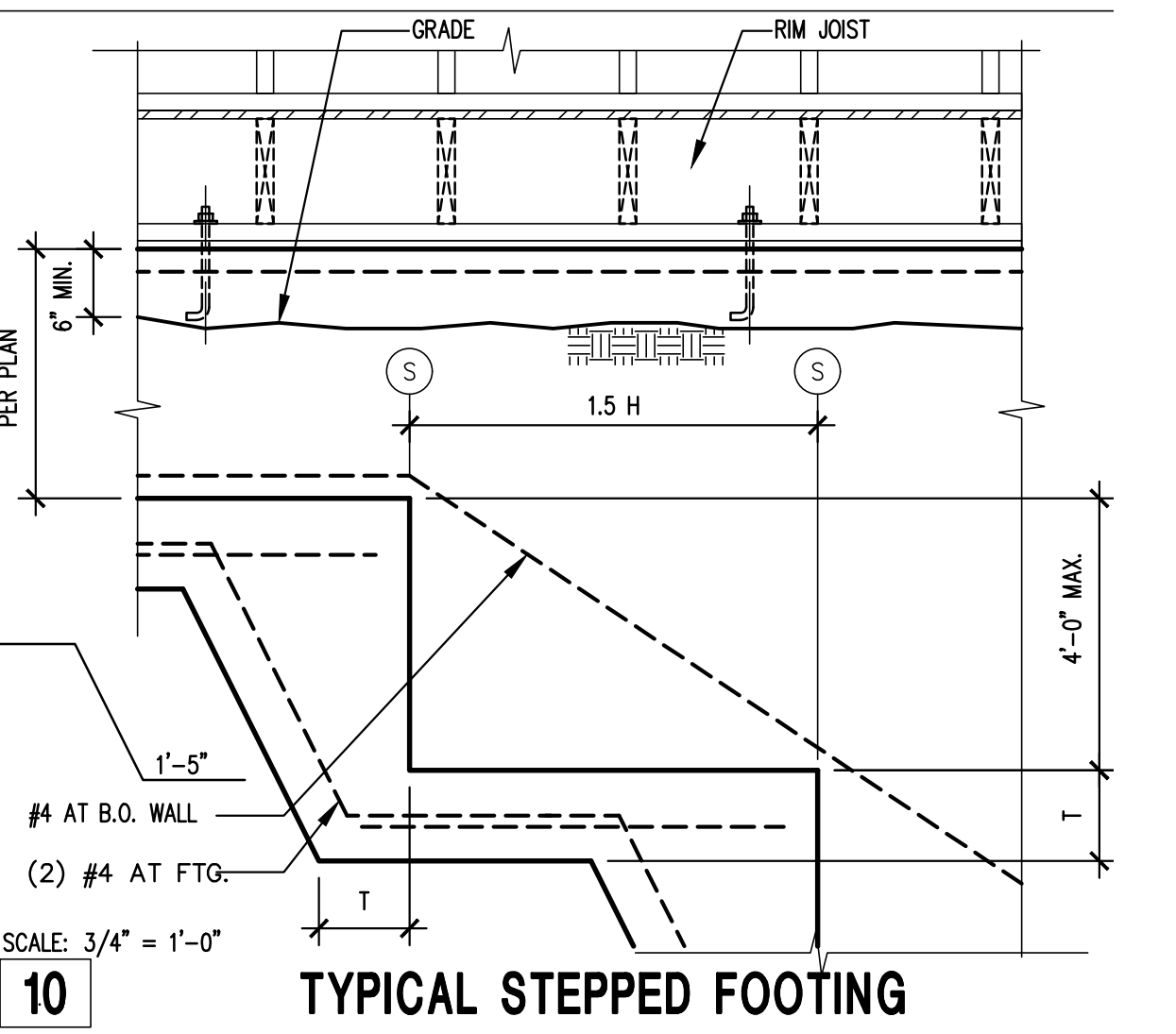
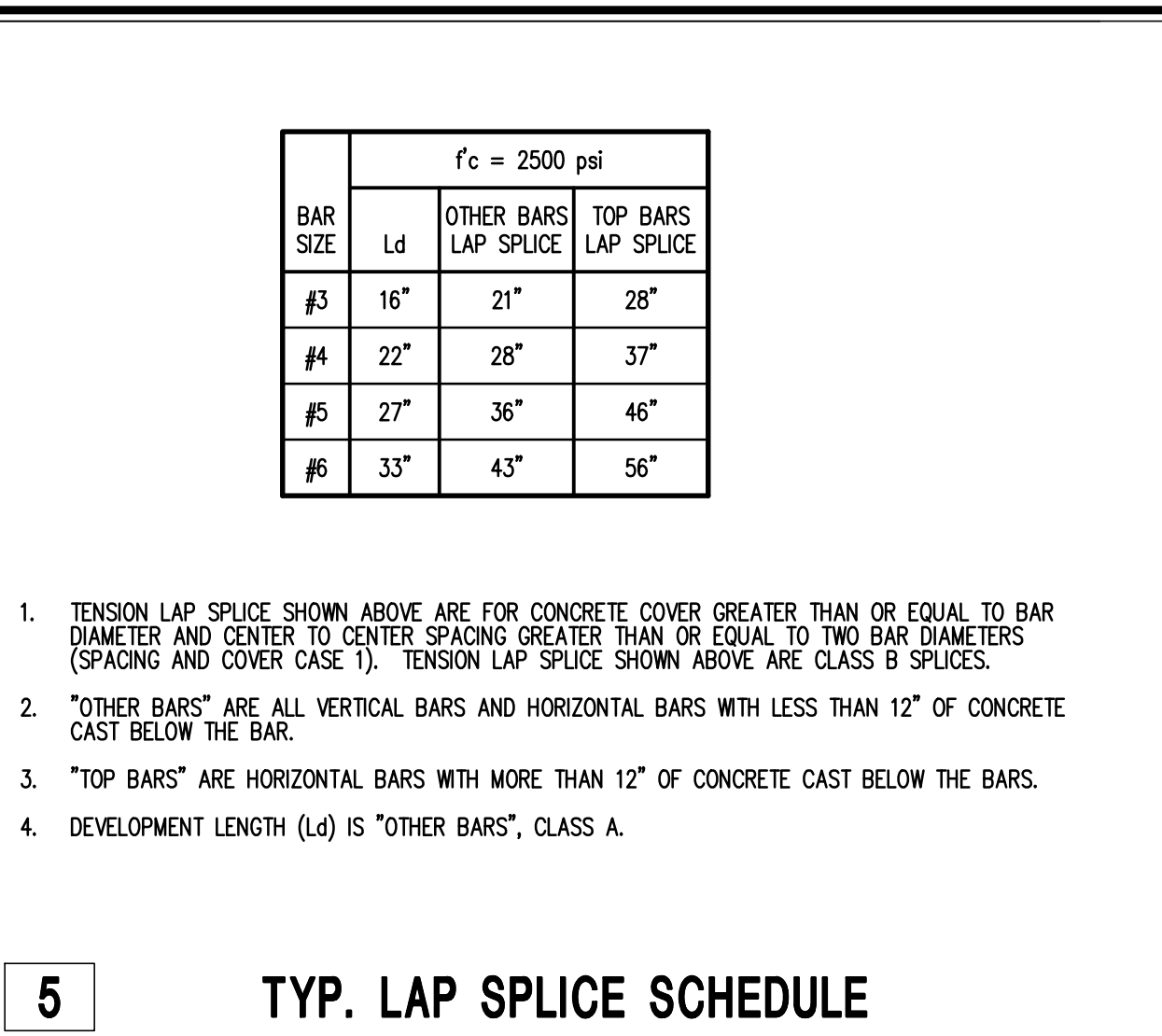
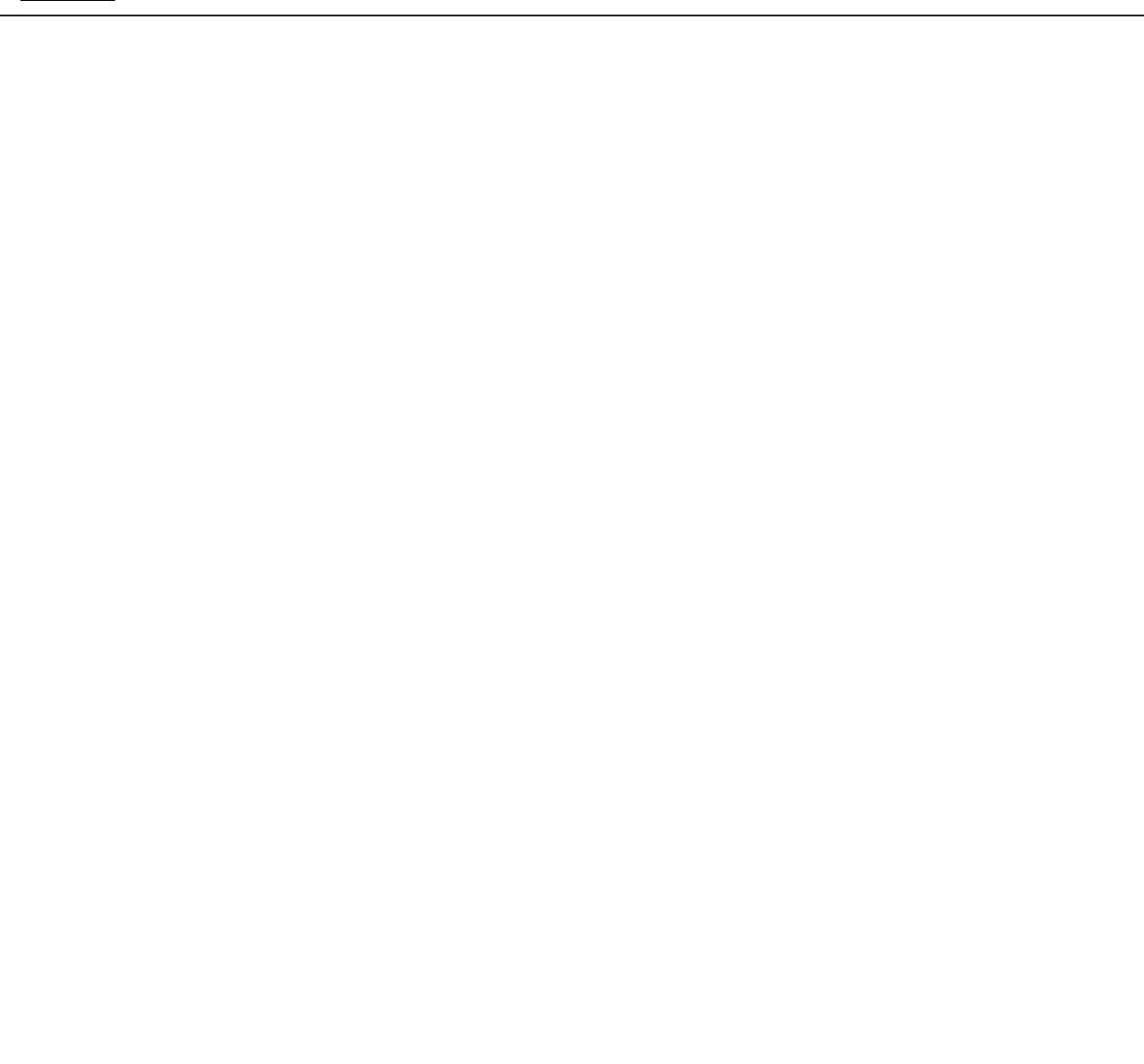
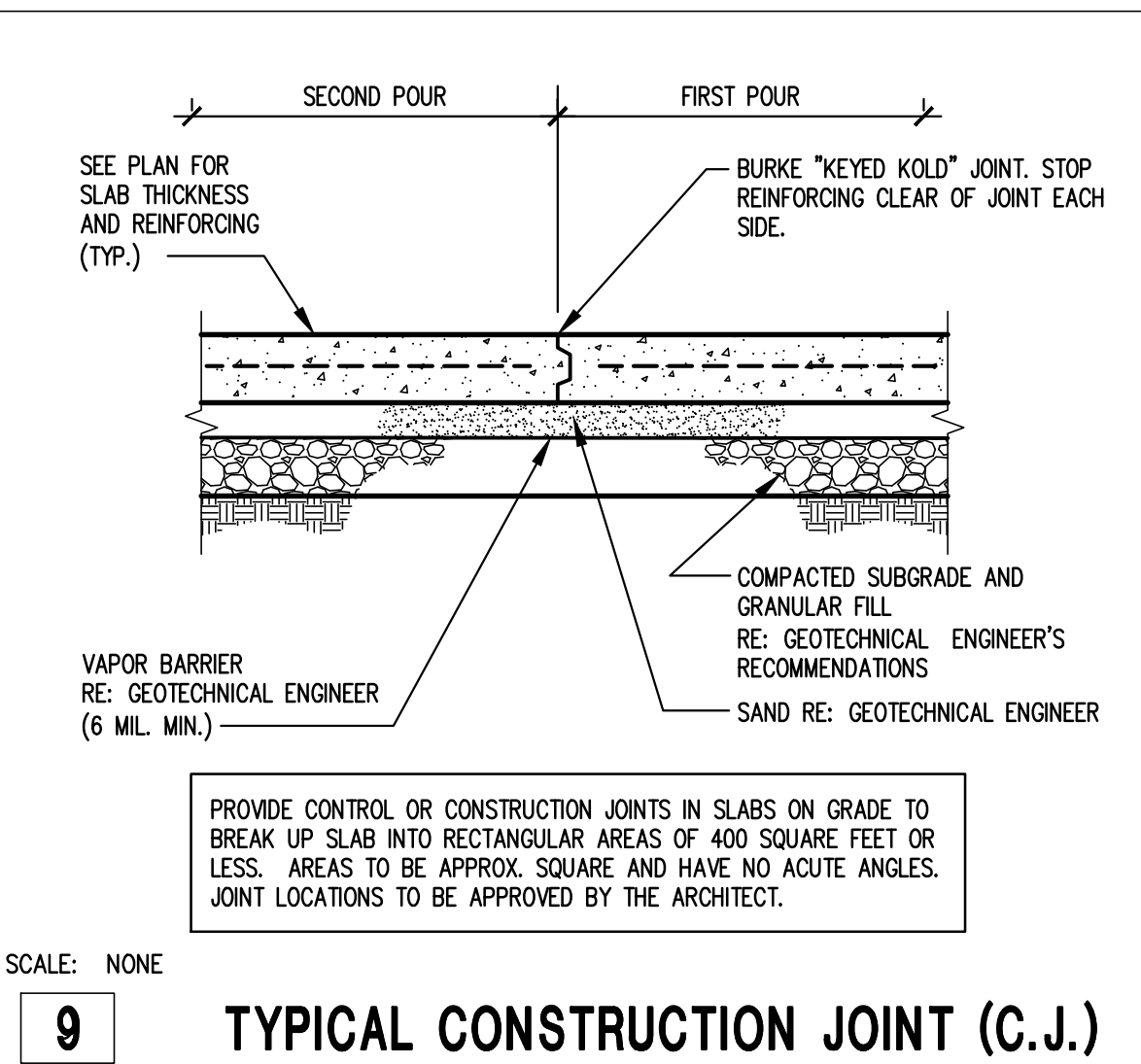
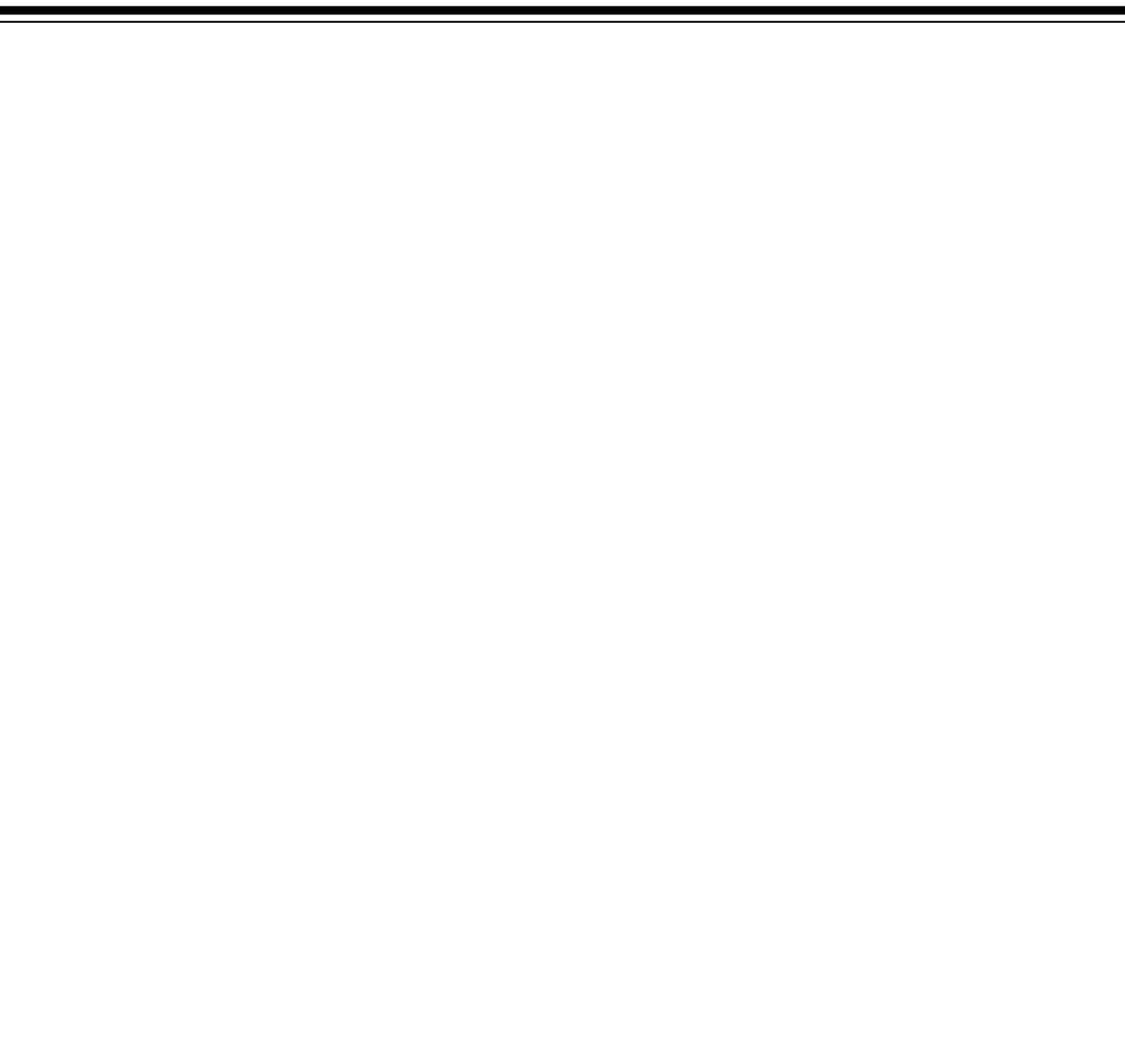
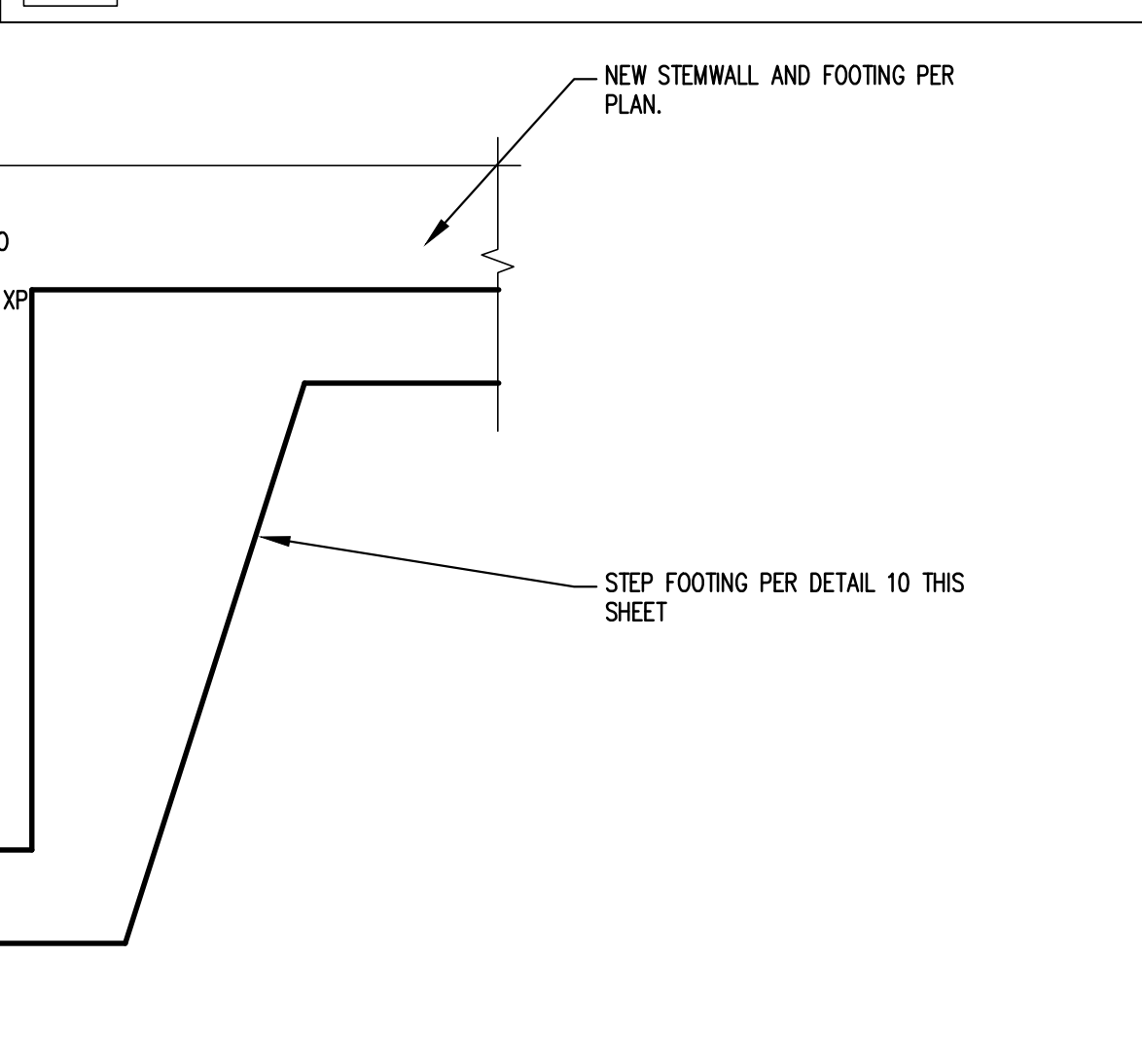
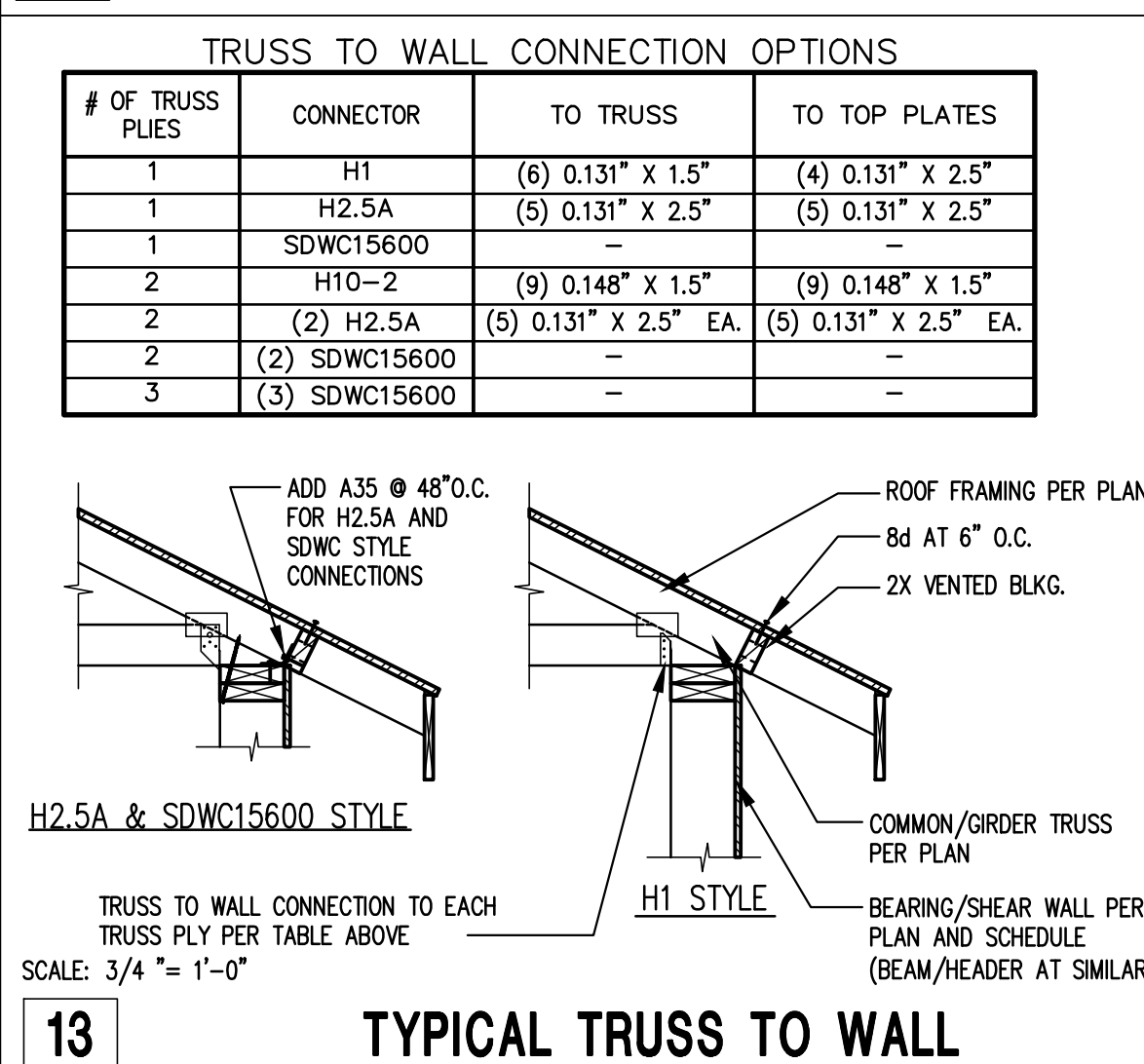
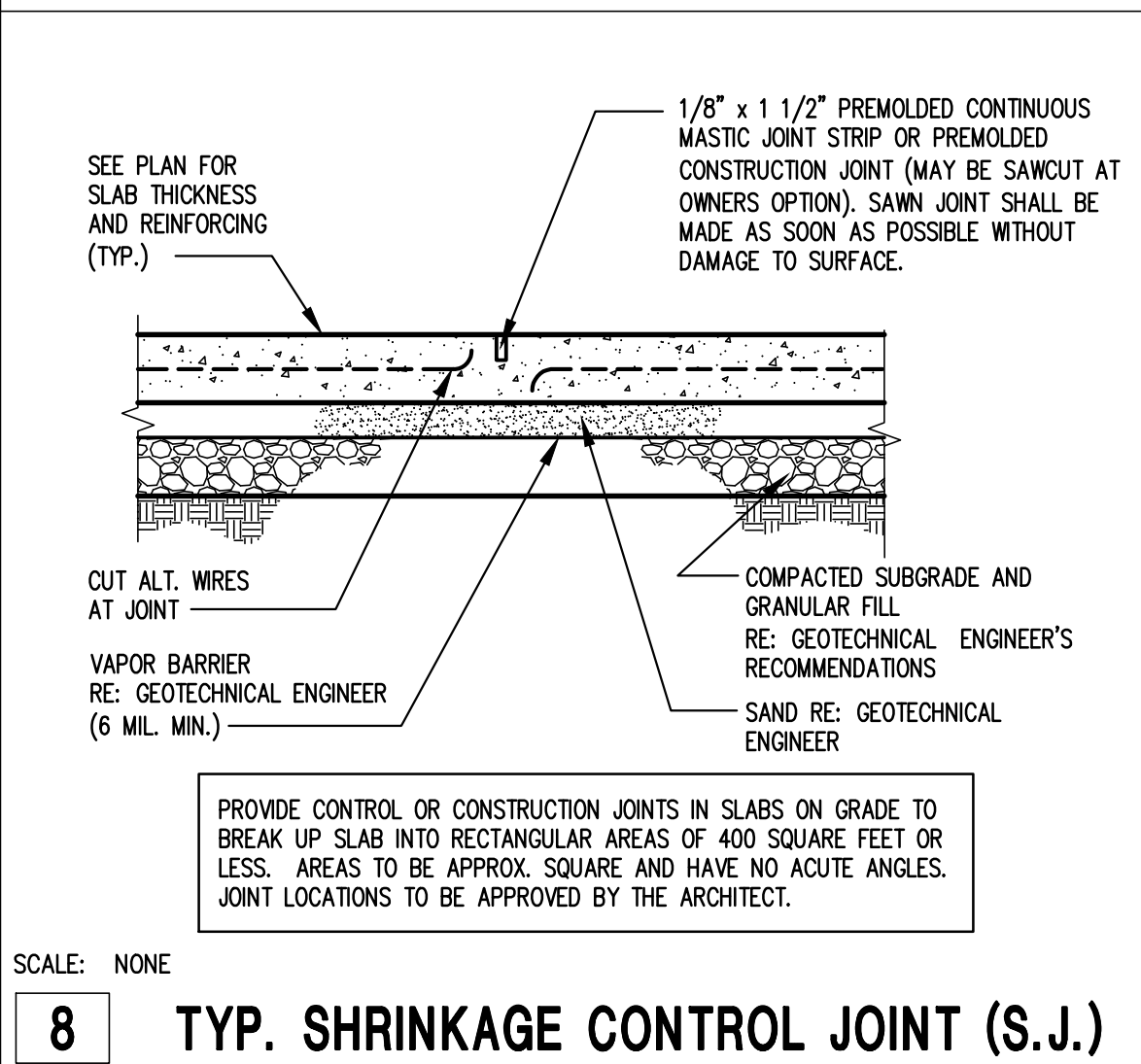
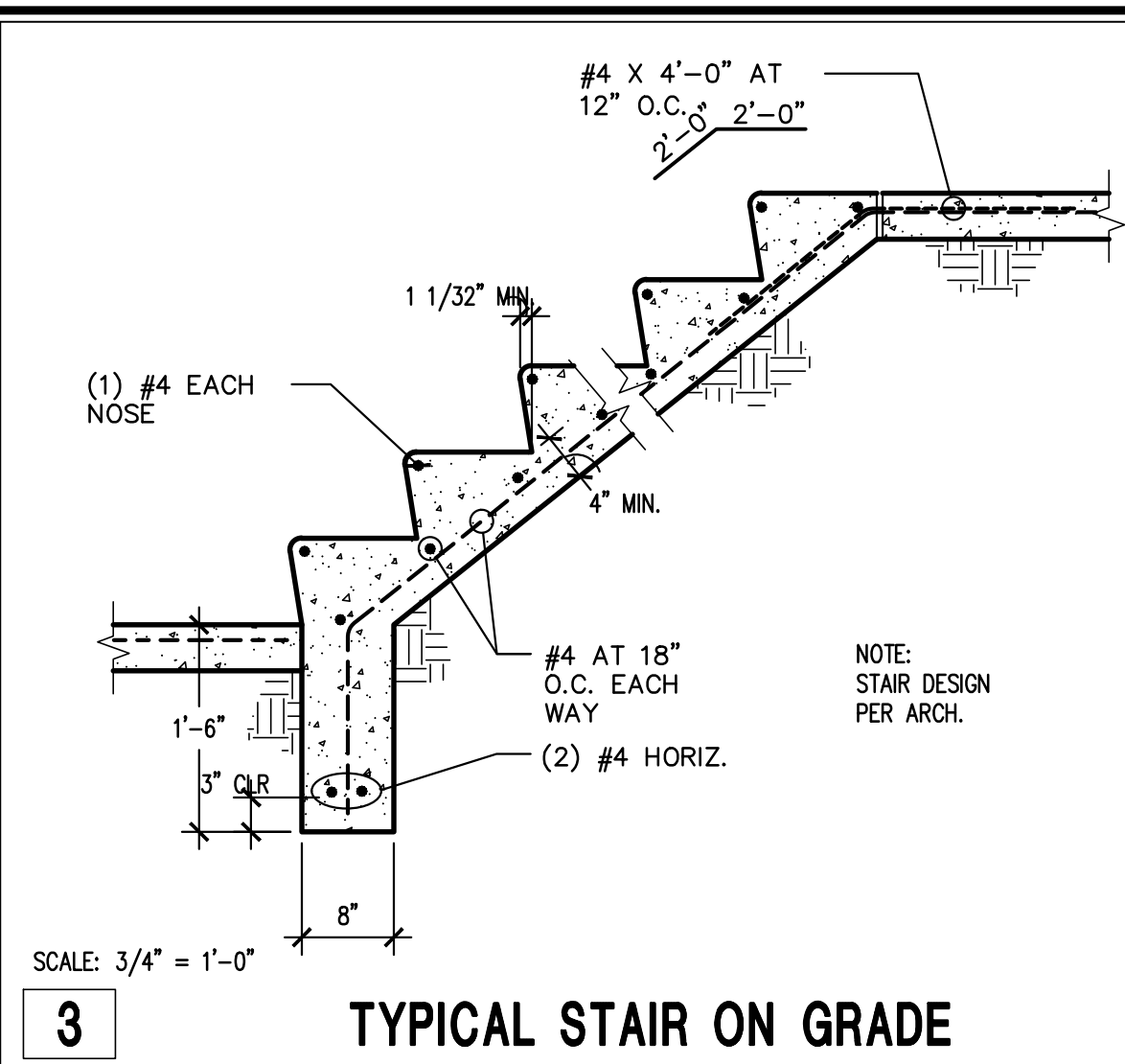
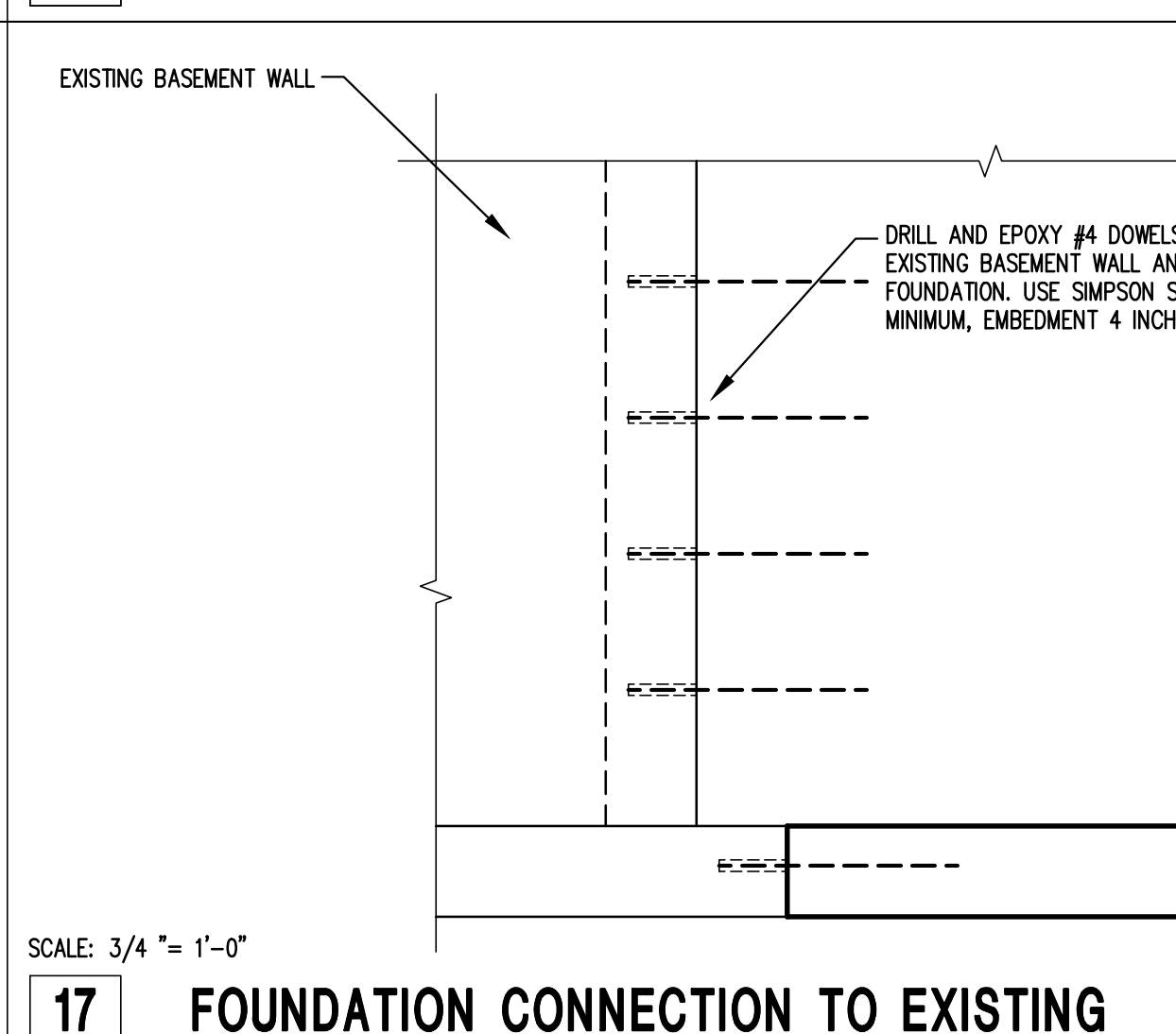
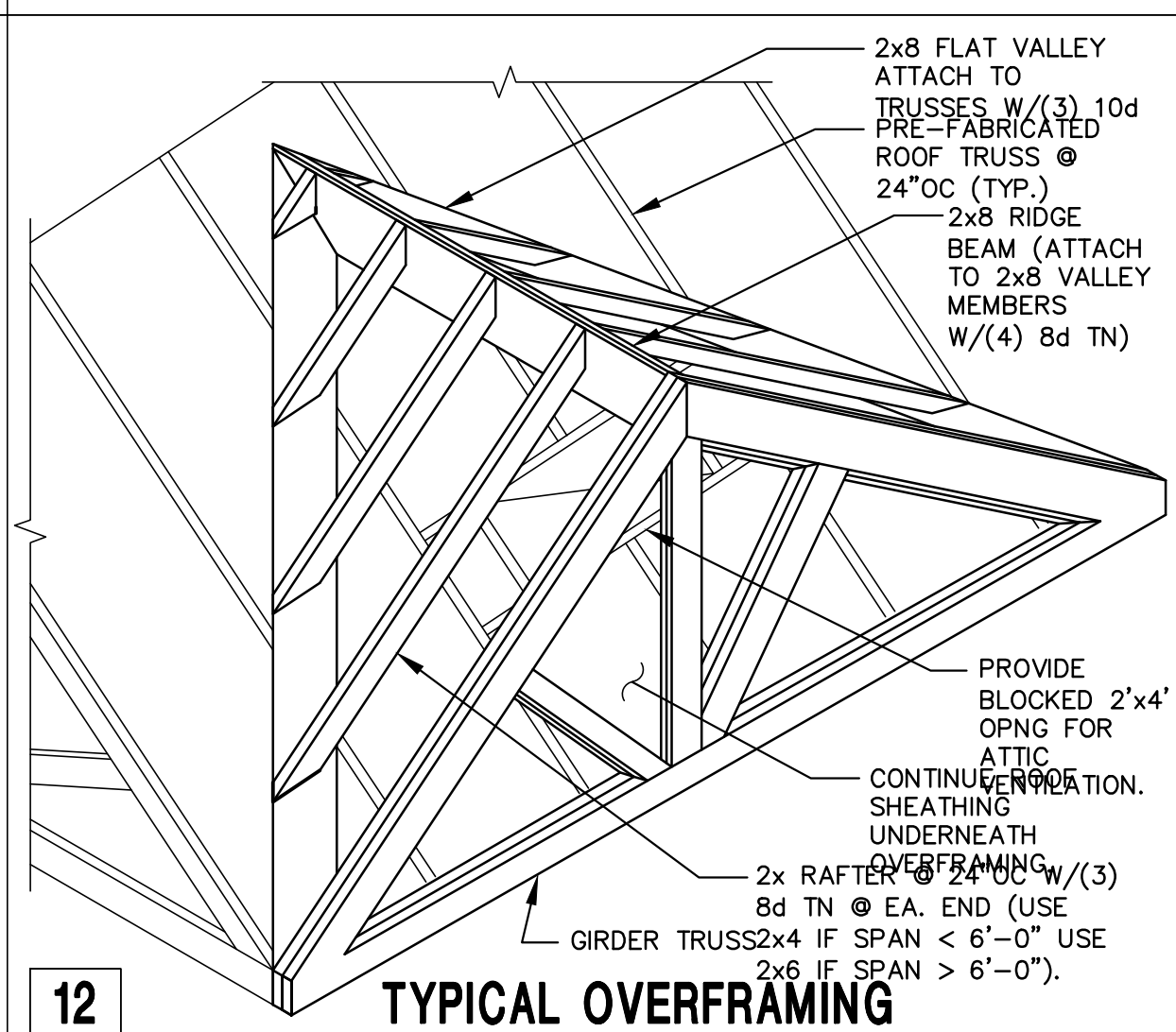
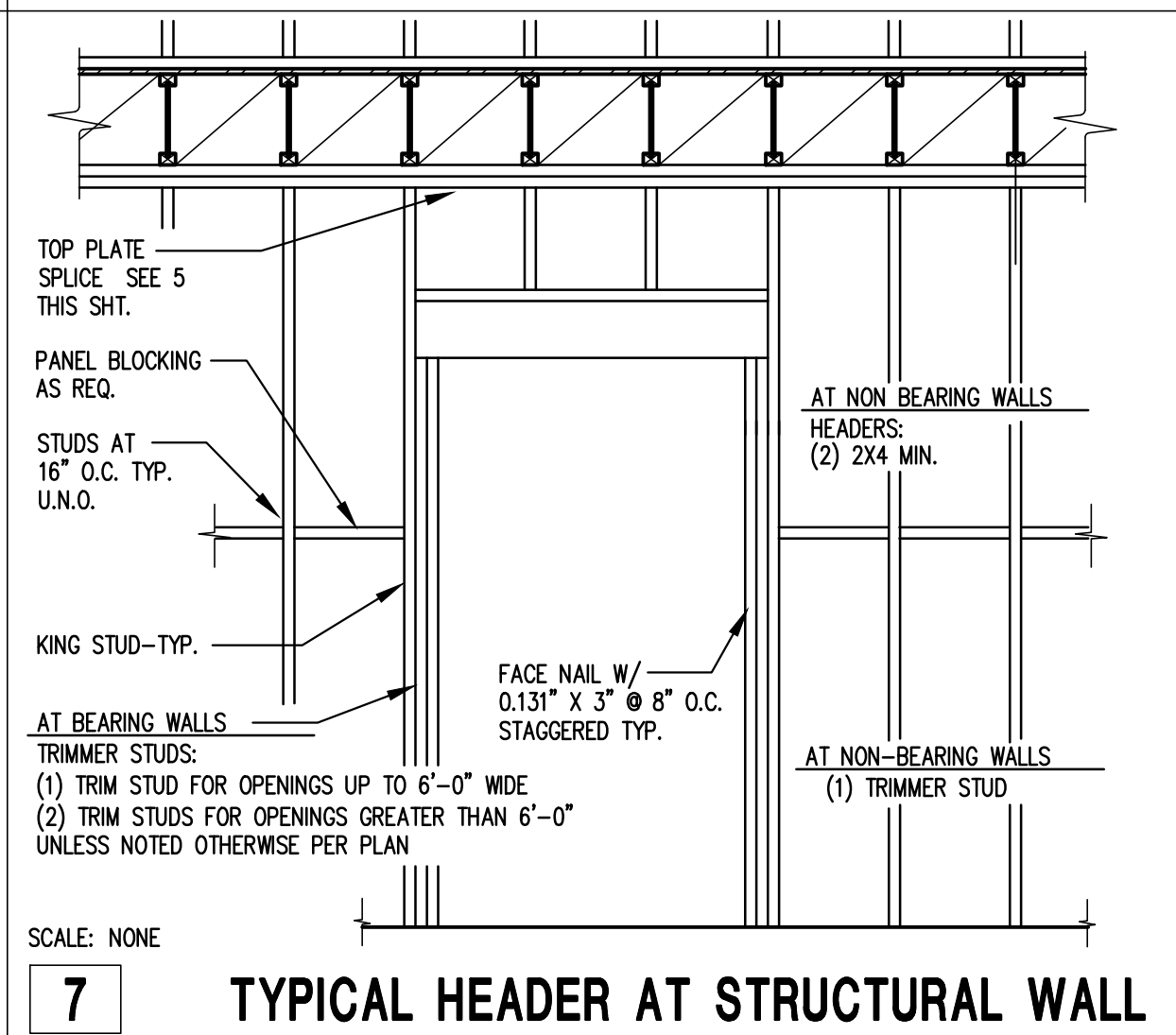
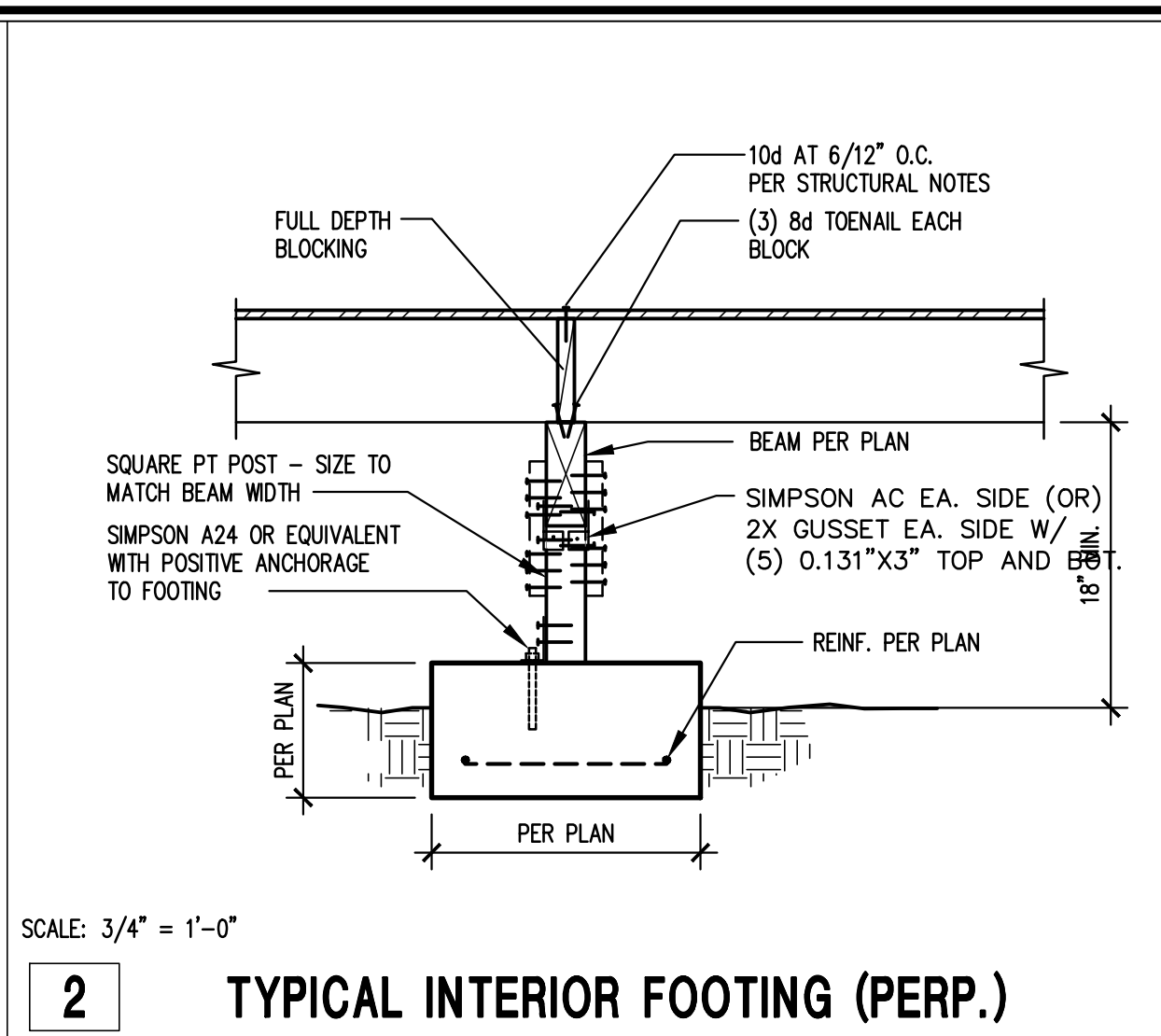
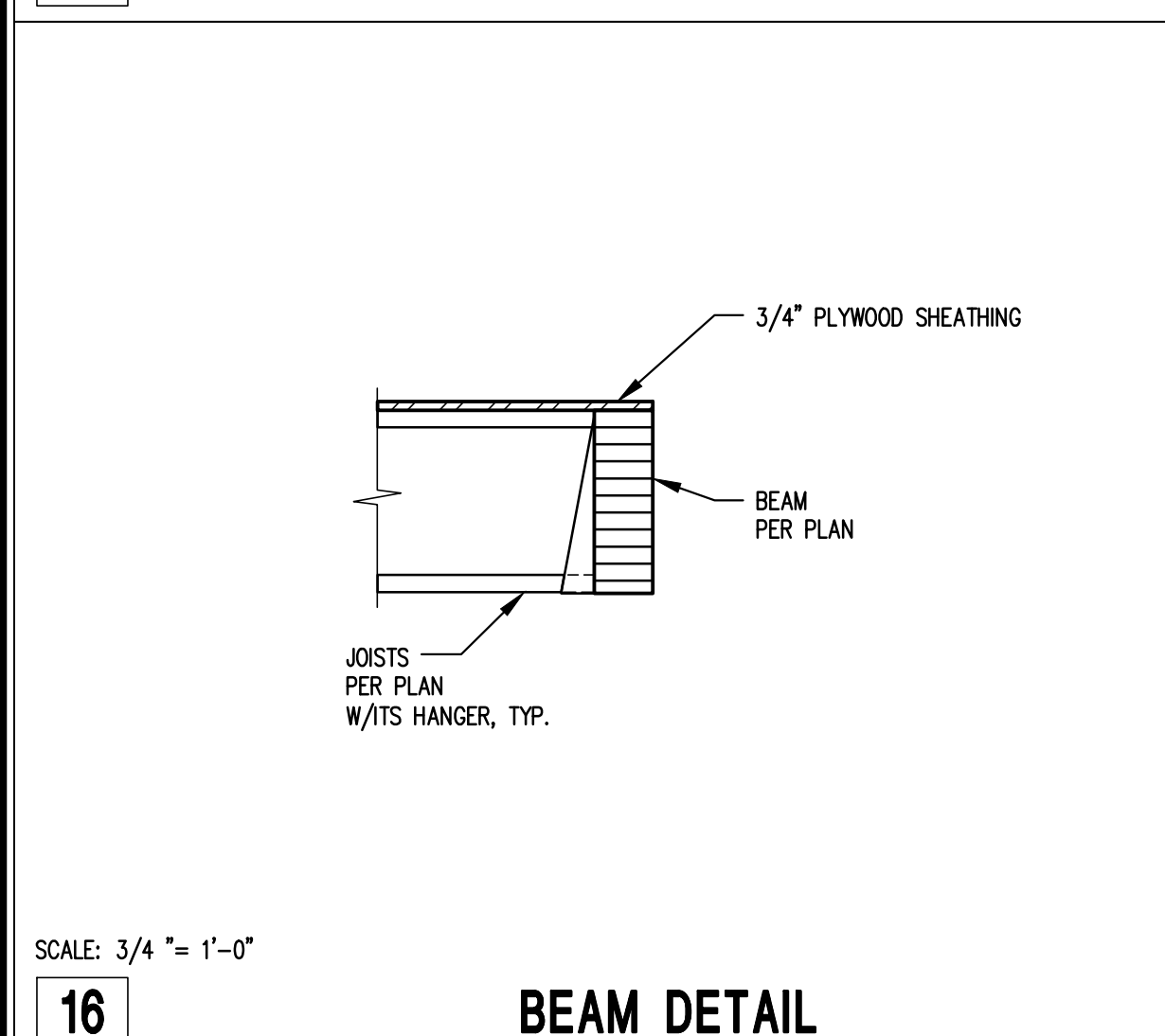
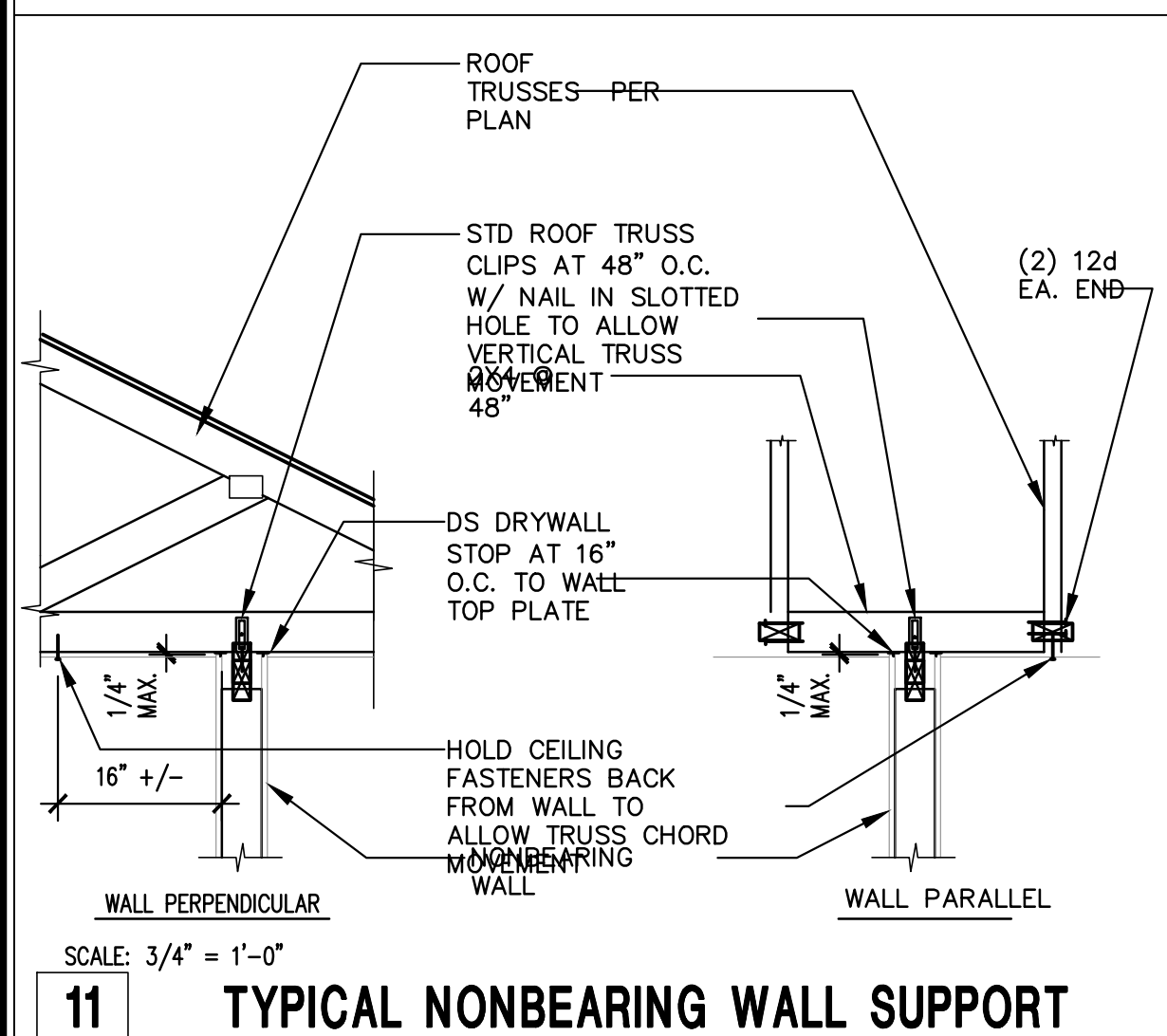
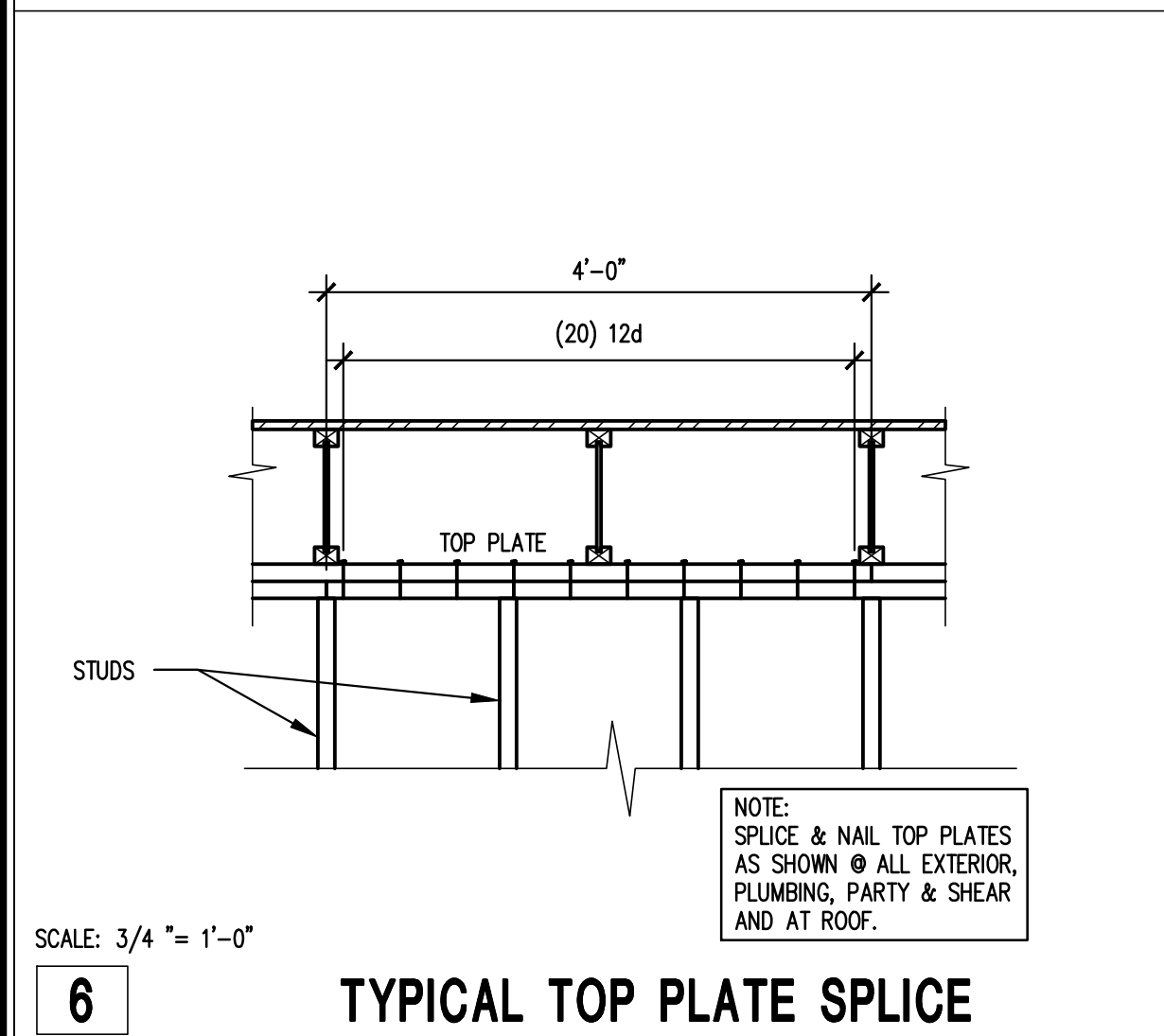
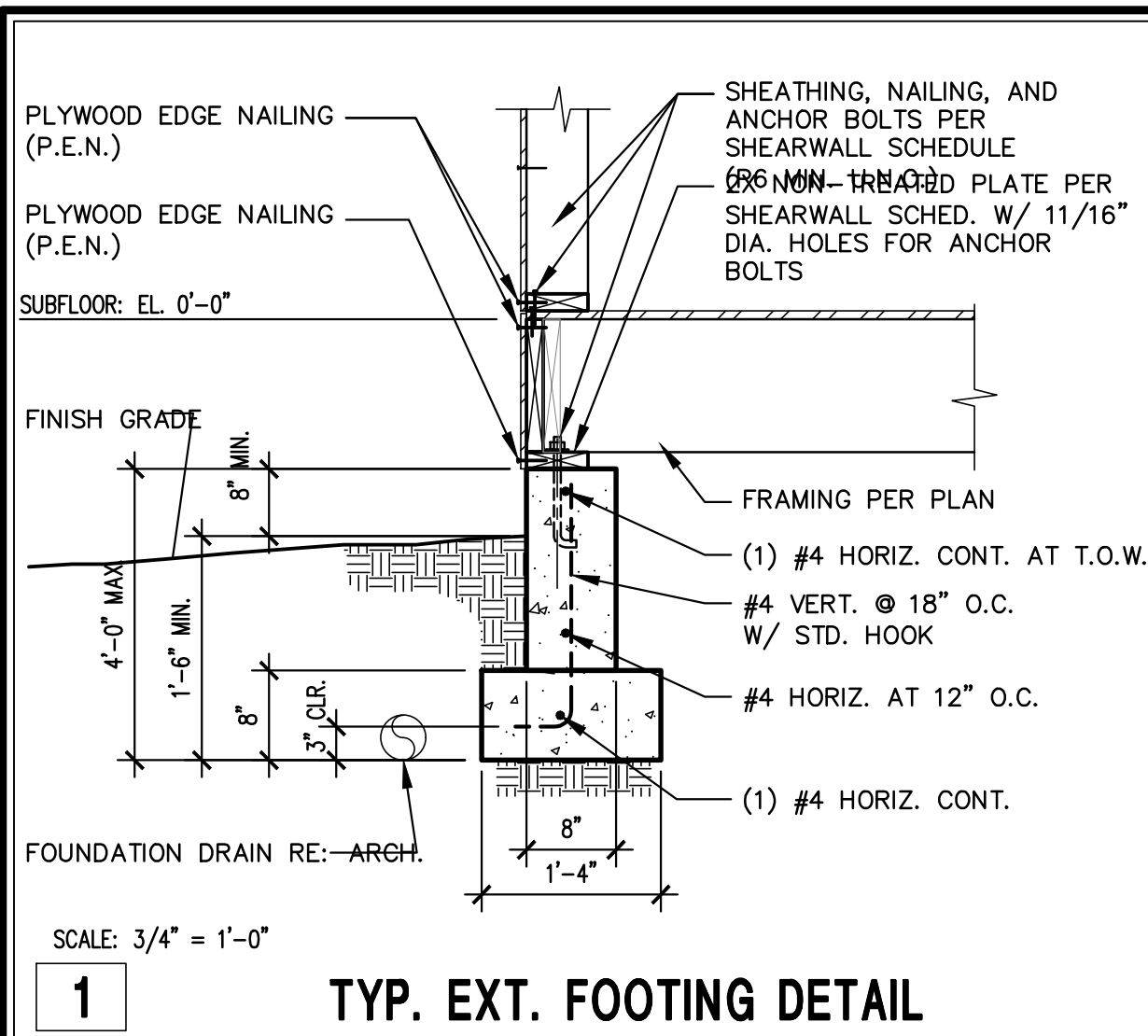
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NO.	REVISION	DATE
	PERMIT SUBMITTAL	05/27/22
	ENGR. CFR	CAD. CFR
	DATE: 05/27/22	FILE: 07
	JOB #:	22055

Foundation & Roof Framing Plans
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S2.0



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